



RESOLUTION

APPROVING A CONCEPTUAL PLAN FOR AN INTERIM PLANNED DEVELOPMENT-TRANSIT PROJECT FOR THE DEVELOPMENT OF THE HAWAII OCEAN PLAZA MIXED USE DEVELOPMENT PROJECT.

WHEREAS, on February 13, 2017, the Department of Planning and Permitting ("DPP") accepted the application (File No. 2017/SDD-11) of Hawaii Ocean Plaza LP (the "Applicant") for an Interim Planned Development-Transit ("IPD-T") permit to redevelop 45,000 square feet of land with a mixed use residential, hotel, and commercial project in the Ala Moana neighborhood on land zoned BMX-3 Community Business Mixed Use District, located at 1362, 1370, and 1374 Kapiolani Boulevard, and identified as Tax Map Key Nos. 2-3-016: 018, 019, and 020, as shown on Exhibits A-1 through A-2, B-1 through B-33, C-1 through C-11, and D-1 through D-2 (the "Project"); and

WHEREAS, the Project is proposed to include the demolition of single- and two-story commercial and warehouse structures, and the development of a 400-foot-high mixed use tower with 216 multi-family dwelling units; 175 hotel units; a community room; three ground floor commercial spaces for restaurants; outdoor dining areas; a parking podium; indoor and outdoor amenities on the tower roof, podium roof, and level 16; a bicycle sharing station; publically-accessible ground-level improvements; and various right-of-way improvements; and

WHEREAS, on March 24, 2017, the DPP held a public hearing, which was attended by representatives of the Applicant and its agent, and three members of the public; testimony was offered by three members of the public at the hearing; and

WHEREAS, on May 18, 2017, the DPP, having duly considered all evidence and reports of said public hearing and the review guidelines established in Sections 21-2.110-2 and 21-9.100-5 of the Land Use Ordinance ("LUO"), completed its report and transmitted its findings and recommendation of approval to the Council by Departmental Communication 434 (2017) on June 19, 2017; and

WHEREAS, the conceptual plan for the Project is set forth in the exhibits attached hereto as Exhibits B-1 through B-33, C-1 through C-11, and D-1 through D-2, and is further described in Departmental Communication 434 (2017), all of which are incorporated herein by this reference; and

WHEREAS, the City Council, having received the findings and recommendation of the DPP on June 19, 2017, and having duly considered the matter, desires to approve the conceptual plan for the Project, subject to the conditions enumerated below; now, therefore,



RESOLUTION

BE IT RESOLVED by the Council of the City and County of Honolulu that the conceptual plan for the IPD-T Project is approved subject to the following conditions:

- A. Within 10 days of City Council approval of the conceptual plans for the Project, the Applicant shall submit to the DPP Land Use Permitting Division ("LUPD") for review and approval, an application for a major special district permit, including detailed plans and drawings for the Project.

The major special district permit application must include detailed plans relating to front yard design (including but not limited to public sidewalks and landscaping), and community room design (including but not limited to size and amenities).

- B. The maximum permitted floor area for the site is 450,000 square feet (floor area ratio of 10.0).
- C. The maximum height of the Project is 400 feet. Rooftop structures must conform to LUO Section 21-4.60(c).
- D. The Project may encroach into the street centerline and height setbacks as shown on the approved conceptual plans and drawings attached hereto as Exhibits B-2 through B-33, C-1 through C-11, and D-1 through D-2.
- E. The Applicant shall relocate the storefronts along Kapiolani Boulevard and Makaloa Street up to the required build-to lines specified in the Ala Moana Neighborhood Transit-Oriented Development ("TOD") Plan. Ground floor outdoor dining may be provided behind the build-to line fronting Kapiolani Boulevard.
- F. The Applicant shall provide 15 percent of the total residential units in the Project, or 33 dwelling units, whichever is greater, as rental units affordable to households earning 80 percent and below of the area median income ("AMI") for Honolulu. The units must be located on the Project site and remain affordable for a minimum of 30 years from the date a certificate of occupancy ("CO") is issued for the Project. The Applicant shall execute an agreement to participate in an affordable housing plan for the affordable rental units that is acceptable to the DPP, and in accordance with adopted rules.

The Applicant shall procure the services of a third party administrator approved by the DPP to manage the affordable rental dwelling units required herein, in order to ensure compliance with affordability requirements and periods.



RESOLUTION

- G. No more than 414 off-street parking stalls may be provided on the Project site.
- H. The Applicant shall provide a safe, well-lit, paved pedestrian, bicyclist, and vehicular pathway along the central private driveway, which is aligned with Kona Iki Street, and connects Kapiolani Boulevard and Makaloa Street.

The Applicant shall grant the City an easement to allow the central driveway to remain accessible to the public (including but not limited to all motorists, pedestrians, and bicyclists) at all hours for the life of the structure, and to require that the Applicant maintain the driveway for the life of the structure.

The Applicant shall: (1) provide painted sharrows along the center driveway; (2) construct appropriate curb radii at the access points for the center driveway to accommodate the turning radii for transit buses; and (3) design the center driveway to be consistent with City street standards.

- I. The Applicant shall implement water conservation measures, including low flow plumbing fixtures, utilization of non-potable water for irrigation, cooling tower conductivity meters, and water softening recycling systems at the Project site.
- J. The Applicant shall coordinate with the Department of Transportation Services ("DTS") to design, implement, and fund, painted sharrows or other similar striping on Makaloa Street in both directions from Sheridan Street to Keeaumoku Street.
- K. The Applicant shall coordinate with the DTS to design, implement, and fund the realignment of lanes along Kapiolani Boulevard to include bicycle lanes.
- L. Prior to approval of a building permit for the demolition of existing structures, the Applicant shall provide the following:

- 1. An updated Traffic Impact Study ("TIS"), or separate analysis, evaluating a roundabout or other mitigative strategy to address traffic and circulation impacts at the Sheridan Street and Makaloa Street intersection.

The Applicant shall coordinate with the DTS to design, implement, and fund the recommended mitigative strategy.

- 2. A timeline or phasing plan of the anticipated dates to obtain major building permits for demolition/construction work, including the projected date of occupancy, must be prepared by the Applicant in a format acceptable to the DPP. The timeline must identify when the Construction Management



RESOLUTION

Plan ("CMP"), the Traffic Management Plan ("TMP"), updates and/or validation to the findings of the initial TIS dated January 13, 2017, and off-site roadway work, will be submitted to the DPP for review and approval, relative to when approvals for construction plans, and building and occupancy permits will be needed. Typically, the CMP must be submitted to and approved by the DPP prior to the issuance of demolition/building permits for major construction work. The TMP or subsequent updates must be submitted and approved prior to the issuance of the (temporary) CO. The TIS, including supplemental studies or subsequent updates, must be submitted and approved prior to the commencement of each major phase of work, as required. A new TIS may be required if there is a significant change to the scope or timing of the major work items contained in the initial report.

3. The CMP must identify the type, frequency and routing of heavy trucks and construction-related vehicles. Every effort must be made to minimize impacts from these vehicles and construction-related activities on adjacent streets and neighborhoods. The CMP must identify and limit construction-related vehicular activity to periods outside of the peak periods of traffic, utilizing alternate routes for heavy trucks, provisions for either on-site or off-site staging areas for construction-related workers and vehicles to limit the use of on-street parking around the Project site; and include other mitigation measures related to traffic and potential neighborhood impacts. The CMP must also include preliminary or conceptual traffic control plans. The Applicant shall document the condition of roadways prior to the start of construction activities and provide remedial measures, as necessary, such as restriping, road resurfacing and/or reconstruction if the condition of the roadways deteriorates as a result of construction-related activities.
4. The TMP must include Traffic Demand Management ("TDM") strategies to minimize the number of vehicular trips for daily activities by residents and employees. TDM strategies may include carpooling and ride sharing programs; transit, bicycle and pedestrian incentives; and other similar TDM measures. The TMP must also include a pedestrian and bicycle circulation plan to provide accessibility and connectivity to and along the surrounding public sidewalks and at street intersections, as it relates to complete streets initiatives.

A post TMP will be required approximately one year after the issuance of the CO to validate the relative effectiveness of the various TDM strategies identified in the initial TMP.



RESOLUTION

- M. A post TIS will be required approximately one year after the issuance of the CO to validate the traffic projections, distribution and assignment contained in the initial TIS and any updates or validations thereto. The post TIS must assess the use and operation of the port cohere (resident drop off area), to ensure that vehicles are not queuing onto Makaloa Street or Kapiolani Boulevard. If additional traffic mitigation measures or modifications are necessary to support related traffic impacts directly attributable to the Project, the Applicant shall be responsible for implementing these measures or modifications. If the post TIS findings are inconclusive, a follow-up TIS may be required within a year after the post TIS, as necessary.
- N. Prior to approval of a major special district permit for the Project, the Applicant shall:
1. Submit to the DPP, for review and approval, a bicycle parking plan that shows: (i) the relocation of some of the 28 public short-term bicycle parking stalls near the entrances of the commercial spaces along Makaloa Street and destinations along Kapiolani Boulevard; and (ii) the location of the bicycle sharing station.
 2. Submit to the DPP, for review and approval, a signage plan that includes wayfinding signage, and community room signage identifying the location, hours of operation, and public availability of the community room. The Applicant shall install the approved signage prior to the issuance of a CO.
- O. The Applicant shall be responsible for litter removal and cleaning of the existing bus stop shelter adjacent to the Project site on Kapiolani Boulevard at no cost to the City.
- P. Prior to submittal of a building permit application, the Applicant shall:
1. Execute an agreement with Bikeshare Hawaii or current City bicycle sharing partner to implement, fund, construct, and maintain an on-site bicycle sharing station with a minimum of 15 docking stations, or as deemed appropriate by Bikeshare Hawaii (or other City bicycle sharing partner). The bike share station must be relocated onto the publicly-accessible private property portion of the Project site. The Applicant shall provide a flat surface in a location acceptable to Bikeshare Hawaii or current City bicycle sharing partner, approximately 550 square feet in size (50 feet by 11 feet), located in an area that receives at least four hours of sunlight per day (for the station photovoltaic panels).



RESOLUTION

2. Record with the State of Hawaii Bureau of Conveyances, or the State of Hawaii Land Court, or both as appropriate, an easement in favor of the City providing that the central driveway remain accessible to the public (including but not limited to all motorists, pedestrians, and bicyclists) at all hours for the life of the structure, and requiring that the Applicant maintain the driveway for the life of the structure.
- Q. Vehicular access points must be constructed as standard City dropped driveways. Adequate vehicular sight distance must be provided and maintained at all driveways for pedestrians and other vehicles. Driveway grades cannot exceed five percent for a minimum distance of 25 feet from the back of the designated pedestrian walkway. The road cross-section along the frontage of the Project on Sheridan Street must remain consistent with the rest of the street. Entry gates and ticket dispensers must be recessed as far into the driveway as necessary to avoid any queuing onto public streets. All loading and parking areas must be designed so that vehicles enter and exit, front first.
- R. Prior to approval of a building permit for the demolition of existing structures, an archaeological inventory survey must be completed and submitted to the Department of Land and Natural Resources – State Historic Preservation Division ("SHPD") for review and approval.
- In the event that subsurface historic resources, including human skeletal remains, structural remains, cultural deposits, artifacts, sand deposits, or sink holes are encountered during the demolition or construction activities, the Applicant shall stop work and contact the SHPD immediately. Work in the immediate area must be stopped until the SHPD is able to assess the impact, make further recommendations for mitigative activity, and issue an archaeological clearance indicating that mitigation measures have been implemented to its satisfaction.
- S. The Applicant shall conduct a wind tunnel test to qualify the wind conditions and evaluate the effectiveness of the wind mitigation strategies contained in the wind study dated January 17, 2017. The Applicant shall conduct and implement the recommendations of the updated wind study.
- T. Approval of this resolution does not constitute compliance with LUO or other governmental agency requirements, including but not limited to building permit approval. They are subject to separate review and approval. The Applicant shall be responsible for ensuring that the final plans for the Project comply with all applicable LUO and other governmental provisions and requirements.



RESOLUTION

- U. The Project must receive a building permit for the proposed development within two years after the effective date of this Resolution. Failure to obtain a building permit within this period will render null and void this Resolution and all approvals issued hereunder, provided that this deadline may be extended as follows:
1. The DPP Director may extend this period if the Applicant demonstrates good cause, but the period cannot be extended beyond one year from the initial deadline without the approval of the City Council, which may grant or deny the approval in its complete discretion.
 2. If the Applicant requests an extension beyond one year from the initial deadline and the DPP Director finds that the Applicant has demonstrated good cause for the extension, the Director shall prepare and submit to the Council a report on the proposed extension, which must include the Director's findings and recommendations thereon, and a proposed resolution approving the extension. The Council may approve the proposed extension or an extension for a shorter or longer period, or deny the proposed extension, by resolution.
 3. If the Council fails to take final action on the proposed extension within the first to occur of: (i) 60 days after receipt of the DPP Director's report; or (ii) the Applicant's then-existing deadline for obtaining a building permit, the extension will be deemed denied.
- V. The Project must conform to the conceptual plan approved hereby and all conditions established herein. Any changes to the conceptual plan will require a new application and approval by the Council. The DPP Director may approve changes to the Project that do not significantly alter the size or nature of the Project, if the changes remain in conformance with the conceptual plan and the conditions herein. Any increase in height or density of the Project will be considered a significant alteration and a change to the conceptual plan; and

BE IT FURTHER RESOLVED that the Council finds as follows with respect to the conceptual plan for the Project, as conditioned herein:

- A. The Project concept, as a unified plan, is in the general interest of the public;
- B. The requested Project boundaries and requested flexibility with respect to development standards relating to density (floor area), building height limits, street centerline height setbacks, yards, landscaping requirements, and parking requirements, are consistent with the objectives of transit-oriented development and the provisions enumerated in ROH Section 21-9.100-4;



RESOLUTION

- C. The requested flexibility with respect to development standards relating to density (floor area), building height limits, street centerline height setbacks, yards, landscaping requirements, and parking requirements, is commensurate with the public amenities and community benefits proposed;
- D. The public amenities proposed will produce timely, demonstrable benefits to the community, support transit ridership, and implement the vision established in ROH Section 21-9.100-4; and

BE IT FINALLY RESOLVED that copies of this resolution be transmitted to Kathy K. Sokugawa, Acting Director of Planning and Permitting, 650 South King Street, 7th Floor, Honolulu, Hawaii 96813; Hawaii Ocean Plaza LP, 1585 Kapiolani Boulevard, Suite 1215, Honolulu, Hawaii 96814; and FSC Architects (attention: James G. Freeman), 31 Merchant Street, Suite 208, Honolulu, Hawaii, 96813.

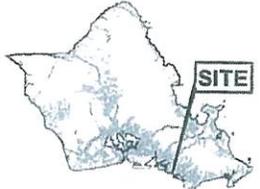
INTRODUCED BY:

Ron Menor (br)

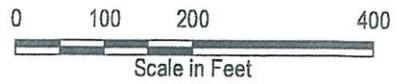
DATE OF INTRODUCTION:

June 22, 2017
Honolulu, Hawaii

_____ Councilmembers



VICINITY MAP

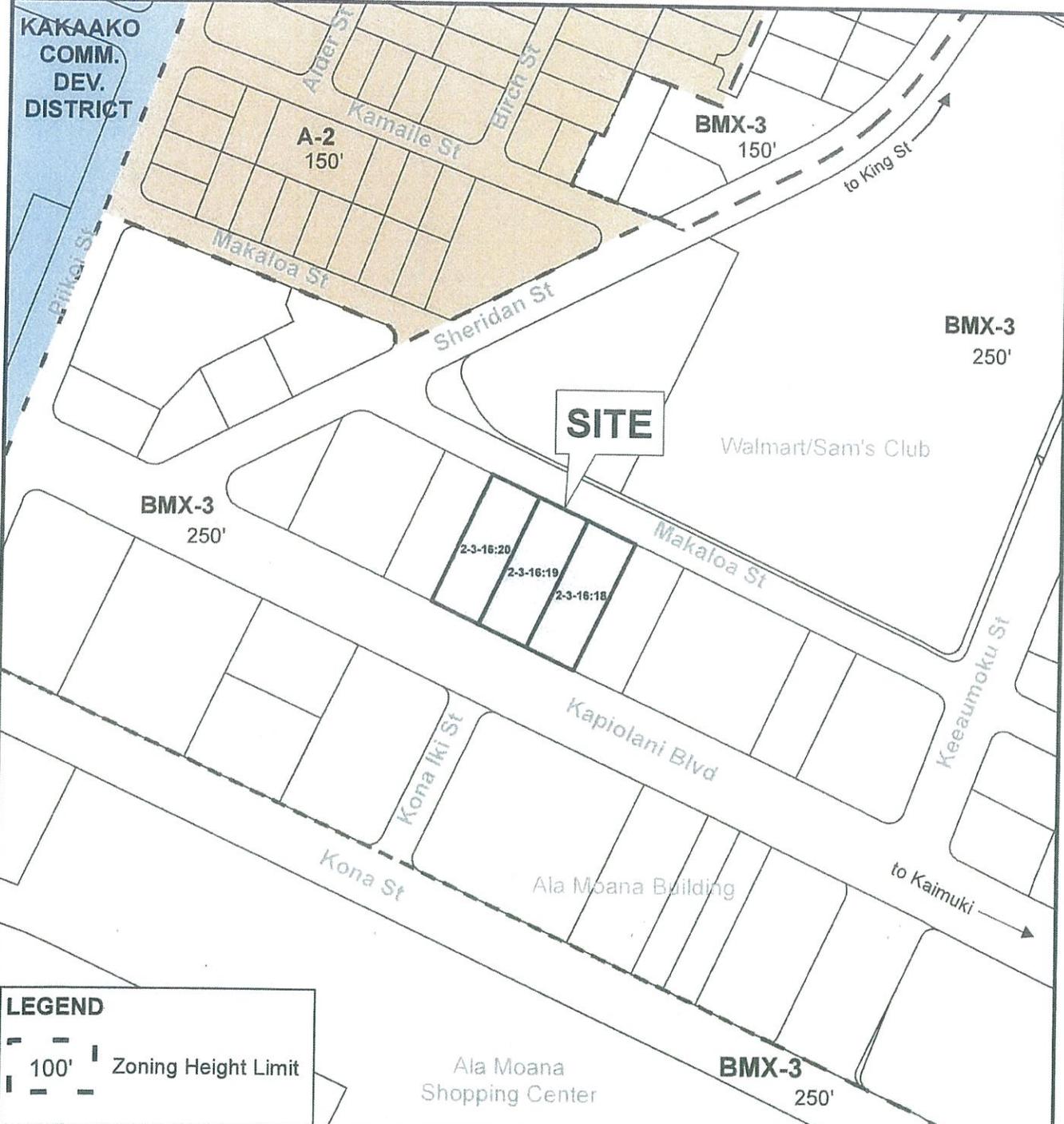


LOCATION MAP MAKIKI-ALA MOANA

TAX MAP KEY(S): 2-3-16; 18,19,20

FOLDER NO.: 2017/SDD-11

EXHIBIT A-1



LEGEND

100' Zoning Height Limit

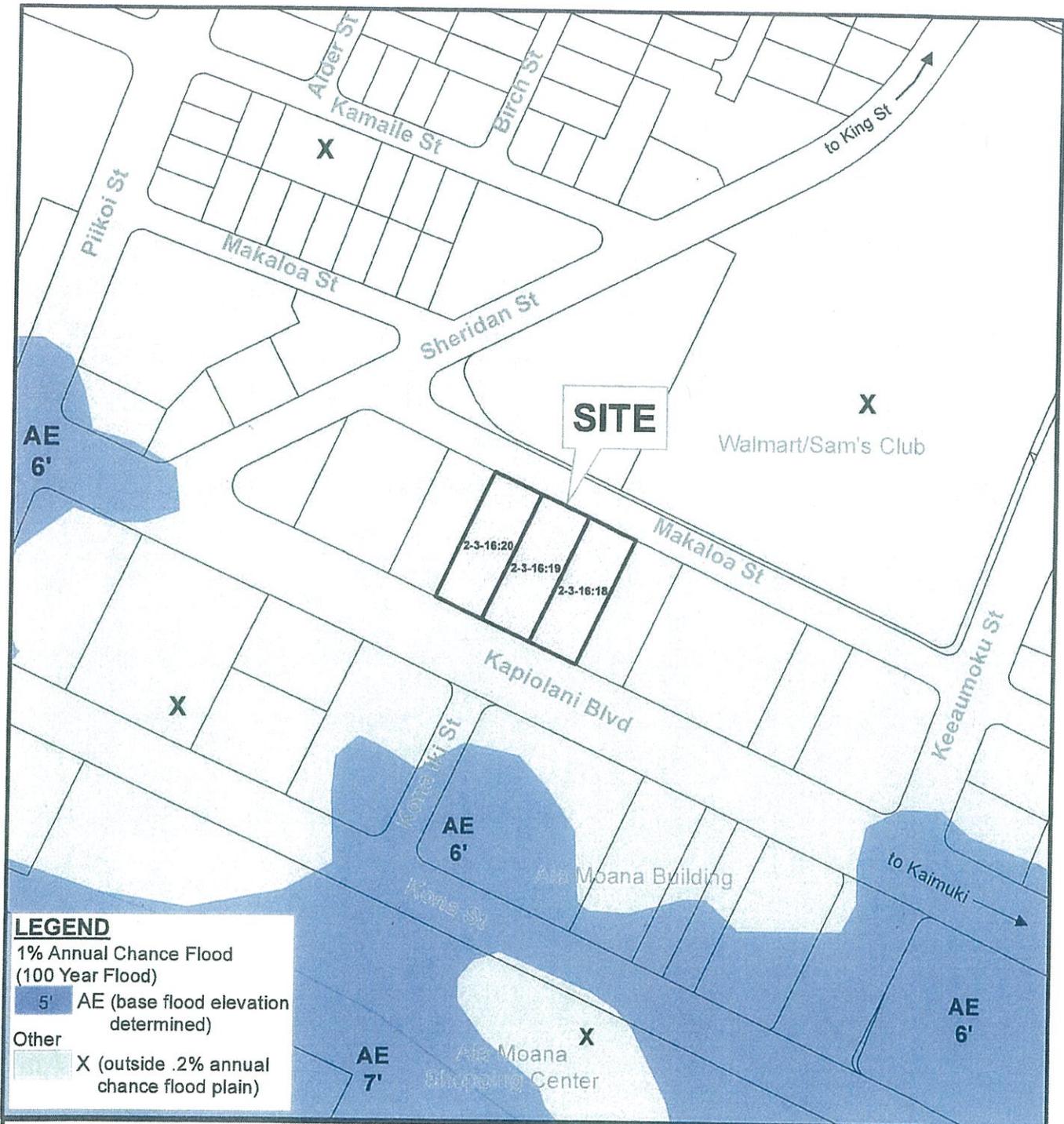
VICINITY MAP

0 100 200 400
Scale in Feet

PORTION OF ZONING MAP NUUANU-MCCULLY

TAX MAP KEY(S): 2-3-16; 18,19,20
FOLDER NO.: 2017/SDD-11

EXHIBIT A-2



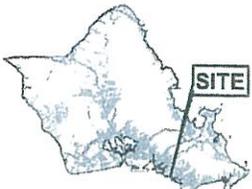
LEGEND

1% Annual Chance Flood
(100 Year Flood)

5' AE (base flood elevation determined)

Other

X (outside .2% annual chance flood plain)



VICINITY MAP

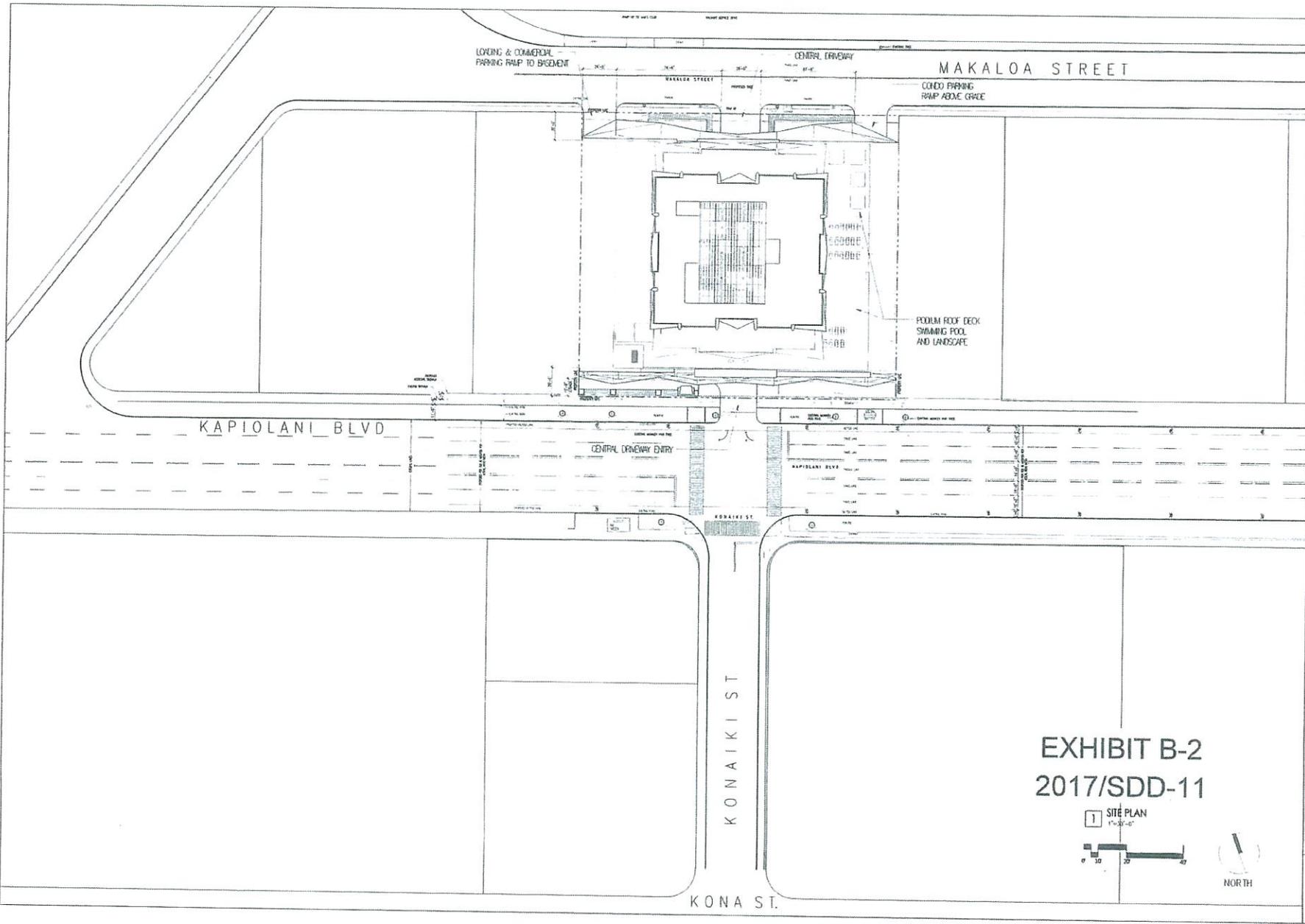


FLOOD ZONE MAP MAKIKI-ALA MOANA

Portion of Flood Panel: 15003C0362G
(1/19/2011)

TAX MAP KEY(S): 2-3-16; 18,19,20

FOLDER NO.: 2017/SDD-11 EXHIBIT A-3



ARCHITECT
 DESIGN, PREPARED BY THE
 OWNER FOR SUBMITTAL AND
 CONTRACT DOCUMENT PREPARATION
 VALIDATION AND RECORDING

NOTE: CONTRACTOR SHALL OBTAIN
 ALL NECESSARY PERMITS AND
 UTILITIES INFORMATION FROM
 THE LOCAL GOVERNMENT

CALIFORNIA
 INVESTMENT
 REGIONAL
 CENTER LLC

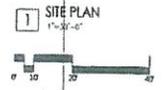
Hawaii Ocean Plaza
 Honolulu, Hawaii
 TMK 2-016-018-019/020

INTERIM PLANNED
 DEVELOPMENT
 FACILITY STUDY

DATE 2016 DECEMBER 16
 REV 10 MARCH 2017

PROJECT # 16029-5

EXHIBIT B-2
 2017/SDD-11



SHEET CONTENT
 SITE PLAN

SHEET NO
 A0-03



ARCHITECT
 HONOLULU OFFICE
 1500 KALANOAHI BLVD
 SUITE 200
 HONOLULU, HI 96813
 TEL: (808) 531-1111
 WWW.ESDARCHITECTS.COM

NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM ESD ARCHITECTS.

CALIFORNIA
 INVESTMENT
 REGIONAL
 CENTER LLC

Hawaii Ocean Plaza
 Honolulu, Hawaii
 TASK 2-3-016; 018/019/020

INTERIM PLANNED
 DEVELOPMENT
 FEASIBILITY STUDY

DATE: 2016 DECEMBER 16
 PROJECT # 16009

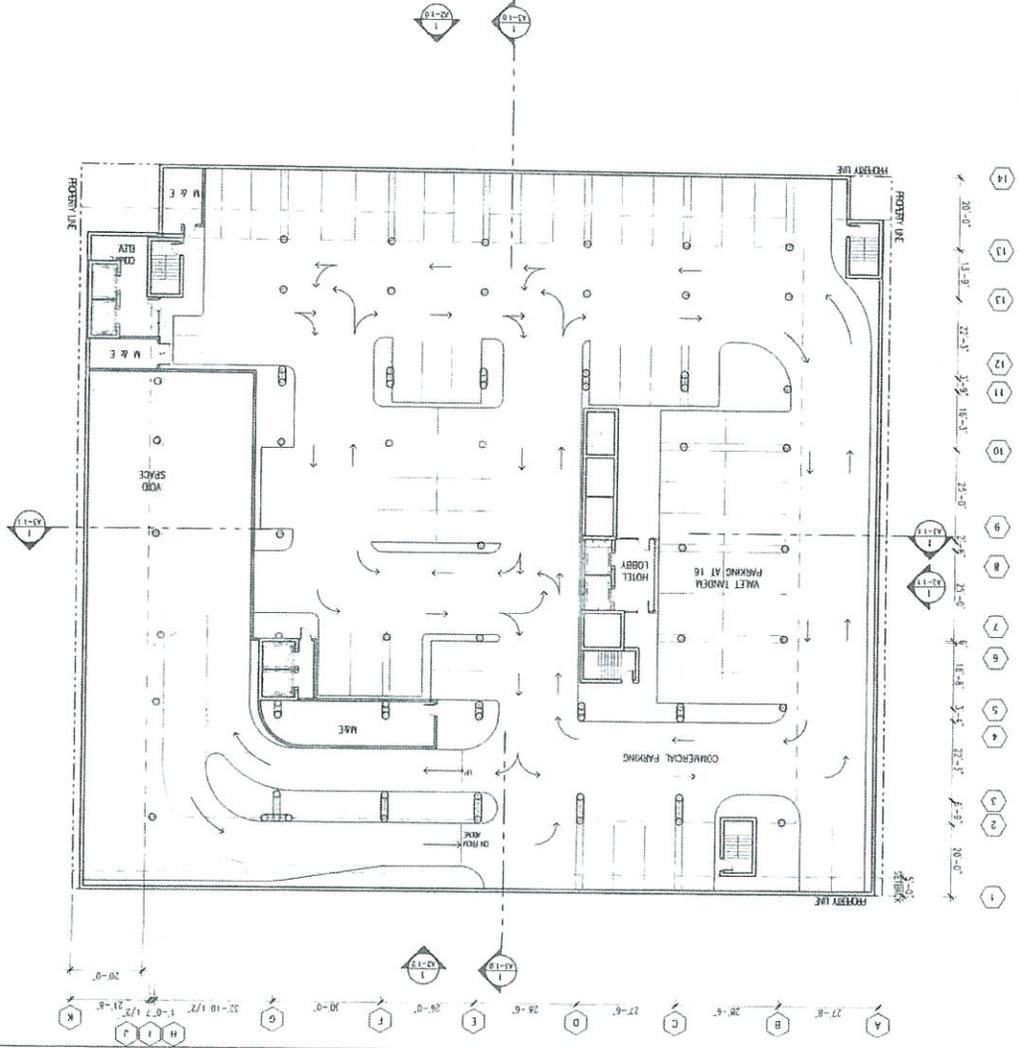
SHEET CONTENT
 OVERALL PLAN - LEVEL B1

SHEET NO.
 A1-11



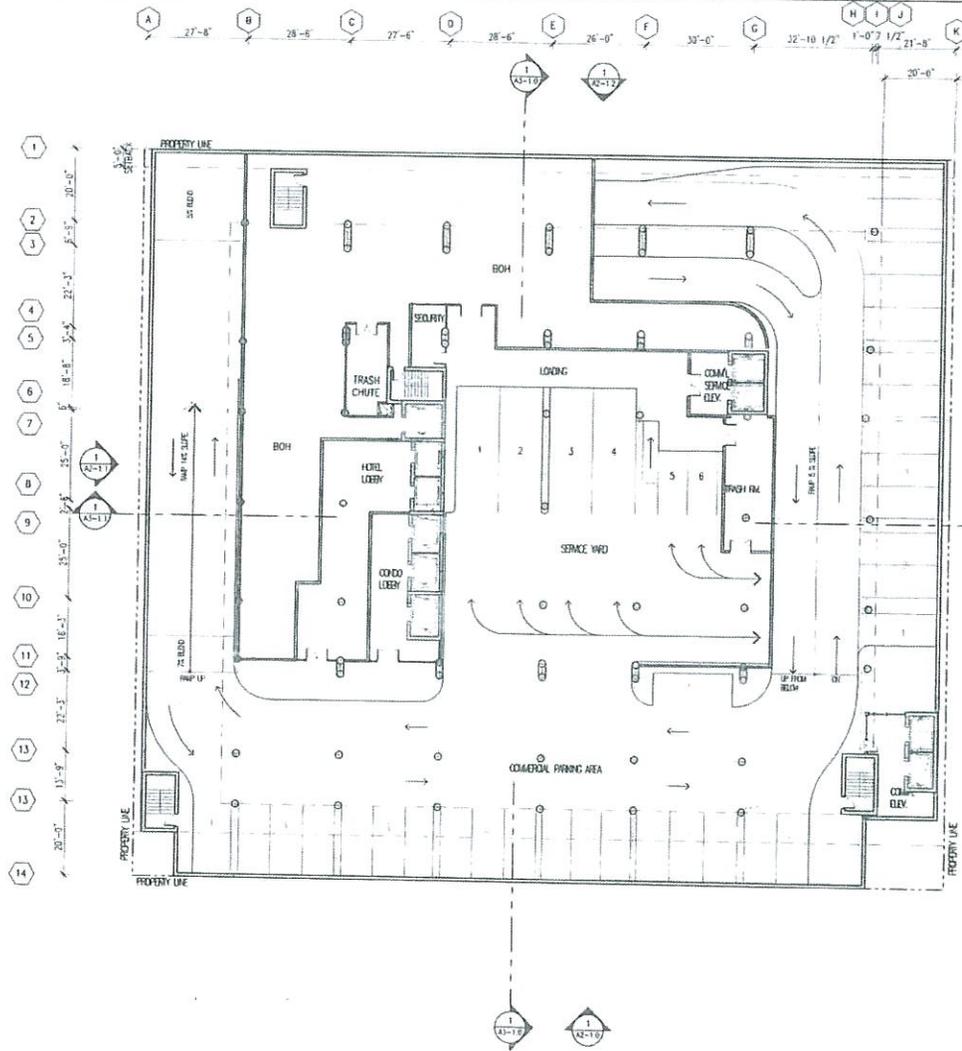
EXHIBIT B-3
 2017/SDD-11

TOTAL FLOOR AREA	235,000 SF
HOTEL LOBBY	90,000 SF
3RD FLY LOBBY	35,000 SF
CONV. DEVL LOBBY	102,000 SF
M & E	1,669,000 SF
CREATION	1,589,000 SF
TOTAL	3,586,000 SF
COMMON PARKING AREA	437,000 SF
PARKING SCALE COUNT	62 MOTOR VEHICLES



- 14 20'-0"
- 13 13'-8"
- 12 22'-3"
- 11 33'-8"
- 10 18'-5"
- 9 22'-0"
- 8 21'-0"
- 7 18'-4"
- 6 3'-5"
- 5 22'-5"
- 4 2'-8"
- 3 28'-0"
- 2
- 1

- A 27'-6"
- B 28'-6"
- C 27'-6"
- D 26'-6"
- E 26'-0"
- F 20'-0"
- G 22'-10 1/2"
- H 1'-0"
- I 1'-0"
- J 1'-0"
- K 20'-0"



TOTAL FLOOR AREA	
HOTEL LOBBY	1,095.00 SF
FOOD LOBBY	451.00 SF
BOH	7,813.00 SF
TRASH CHUTE	303.00 SF
SECURITY	184.00 SF
SERV. ELEV LOBBY	224.00 SF
TRASH ROOM	547.00 SF
SERVICE VOID	7,105.00 SF
ORCLATION	1,718.00 SF
TOTAL	19,490.00 SF

OVERALL PARKING AREA
43,720.00 SF

PARKING SPALL COUPE
32 TOTAL SPALLS

EXHIBIT B-4
2017/SDD-11

1 OVERALL PLAN - LEVEL B2
1"=16'-0"



ARCHITECT
SHOWINGS PROVIDED BY THE
OWNER'S PROFESSIONAL
ENGINEER OF RECORD
MILLER METZGER ARCHITECTS

NOTE: CONTRACTOR SHALL OBTAIN
APPROVAL FROM ENGINEER OF RECORD
BEFORE PROCEEDING WITH WORK.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

Hawaii Ocean Plaza
Honolulu, Hawaii
TIMK-2-3-016-01B / 019 / 020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE 2016 DECEMBER 16
PROJECT # 16009

SHEET CONTENT
OVERALL PLAN
LEVEL B2

SHEET NO
A1-12



ARCHITECT
 NEW YORK STATE LICENSE NO. 00000000000000000000
 CALIFORNIA LICENSE NO. 00000000000000000000

REGISTERED PROFESSIONAL ARCHITECT
 100 WEST 42ND STREET, SUITE 1000
 NEW YORK, NY 10018-3682
 TEL: 212 512 2000
 FAX: 212 512 2001
 WWW.ESQARCHITECTS.COM

CAIFORNIA
 INVESTMENT
 REGIONAL
 CENTER LLC

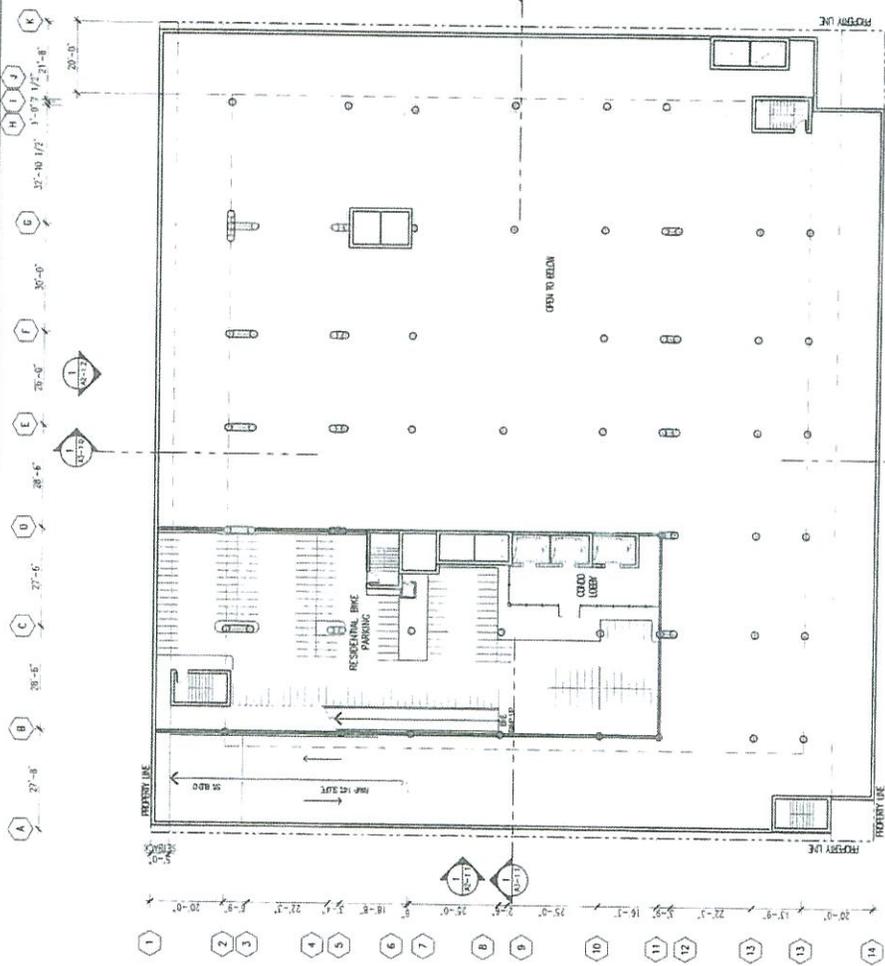
Hawaii Ocean Plaza
 Honolulu, Hawaii
 T/MK 2-016: 018/019/020

INTERMARKET
 DEVELOPMENT
 FACILITY STUDY

DATE: 2018 DECEMBER 16
 PROJECT #: 10009

SHEET COMMENT
 OVERALL PLAN - LEVEL B3

SHEET NO.
 A1-13

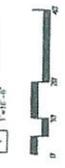


TOTAL	GRID B3 FIC	6,420.00 SF
	GRID LOBB	3,300.00 SF
	EXPLOSION	9,700.00 SF
TOTAL		19,420.00 SF

B3E PERIM. STAIRS	103 STAIRS
TOTAL	103 STAIRS

OVERALL FLOORING AREA
 63,720.00 SF

EXHIBIT B-5
 2017/SDD-11
 OVERALL PLAN - LEVEL B3
 1/8" = 1'-0"





ARCHITECT
 1000 KALANIAN'OLANA BLVD
 SUITE 200 HONOLULU, HI 96813
 TEL: 808-551-1111 FAX: 808-551-1112

THE CLIENTS NAME AND ADDRESS
 AND ANY OTHER INFORMATION
 REQUIRED FOR PERMITTING

CALIFORNIA
 INVESTMENT
 REGIONAL
 CENTER LLC

Hawaii Ocean Plaza
 Honolulu, Hawaii
 T/M K-2-016, 018, 019, 020

INTERIM PLANNED
 DEVELOPMENT
 FEASIBILITY STUDY

DATE: 2016 DECEMBER 16
 PROJECT #: 16009

SHEET CONTENT
 OVERALL PLAN
 LEVEL 1

SHEET NO
 A1-14

EXHIBIT B-6
 2017/SDD-11

OVERALL PLAN - LEVEL 1



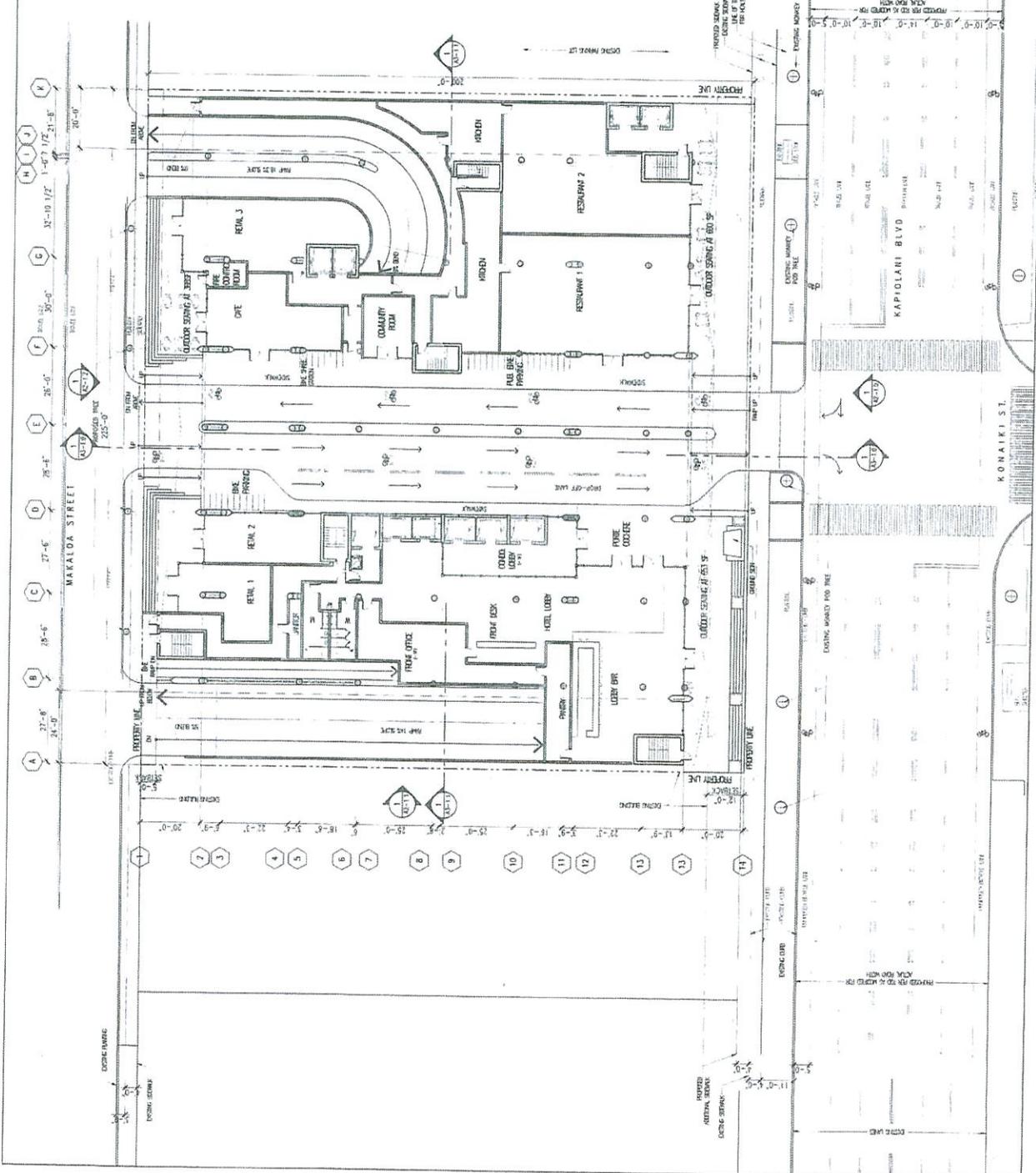
VIA SQUARE FOOTAGES:

LOTE	91700 SF
REIN 1	61000 SF
REIN 2	61000 SF
REIN 3	130000 SF
RESERVAIR 1	250000 SF
RESERVAIR 2	240000 SF
REPAIRS	140000 SF
HOTEL LOBBY	240000 SF
LOBBY & BKG	160000 SF
CONF LOBBY	50000 SF
FRONT OFFICE	90000 SF
CLIMATE CONTROL ROOM	20000 SF
PHOTO	38000 SF
COLLAPSE	420000 SF
FRONT LOBBY RM	14000 SF
TRUCK (W/M)	30000 SF
JANITOR	8000 SF
TOTAL	3,210,000 SF

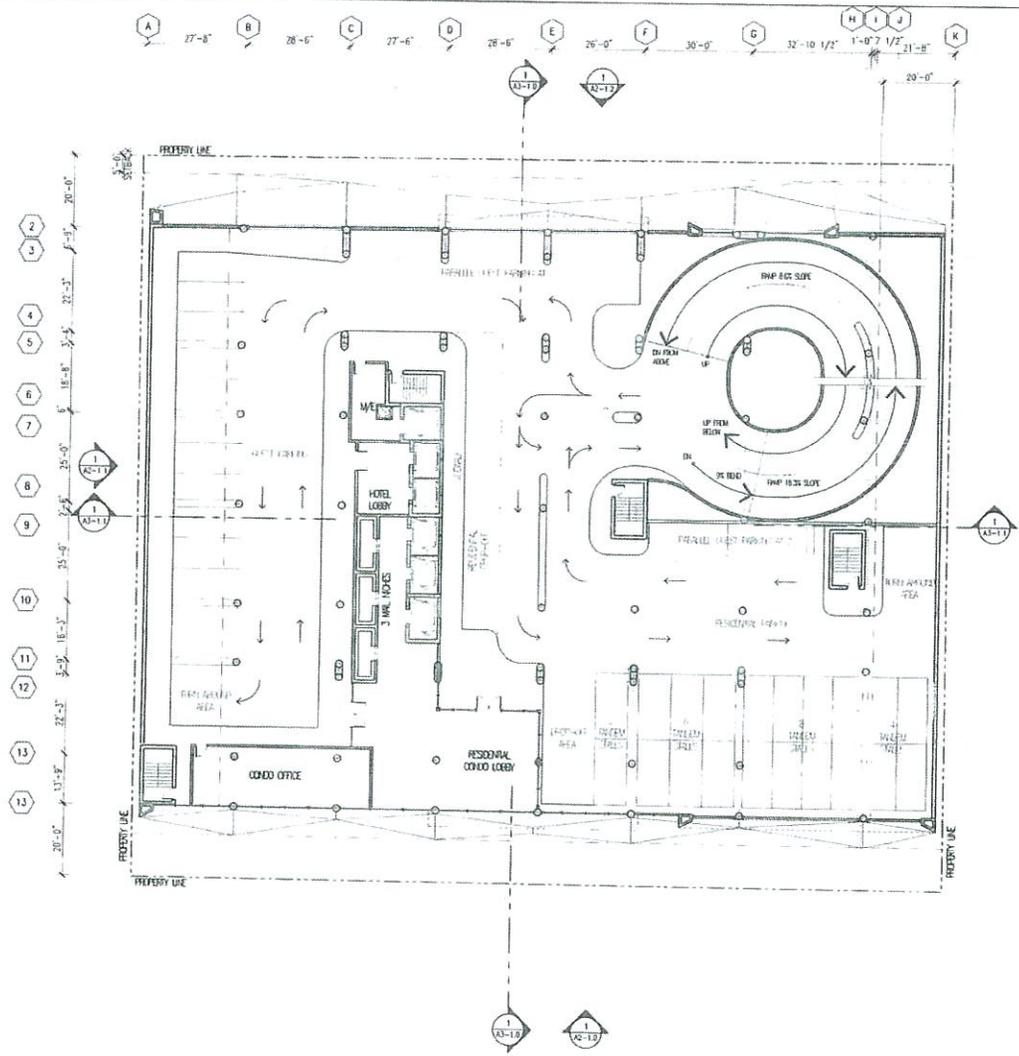
TOTAL COATED ROOF AREA	57000 SF
HOTEL LOBBY	24000 SF
REPAIRS	28000 SF
FRONT OFFICE	28000 SF
REPAIRS	30000 SF
TOTAL	1,430,000 SF

PERC OIL FREE PAVEMENT	7
PERC ASPHALT	28
TOTAL	35

IMP ASPHALT	350
PERC ASPHALT	297
TOTAL	647



NOTED ABOVE
 CONCERNING
 THE FACTS IN THESE PLANS AND THE
 FACTS IN THESE PLANS AND THE



TOTAL COMMERCE AND BUSINESS:

M & C	272.00 SF
CODED OFFICE	918.00 SF
CODED LOBBY	2,239.00 SF
HOTEL LOBBY	353.00 SF
CORRIDOR	1,333.00 SF
TOTAL	5,135.00 SF

OVERALL PARKING AREA
35,580 SF

PARKING STALL QUANT:
16 CODED STALLS
21 CODED GUEST PARKING
37 ROYAL STALLS

EXHIBIT B-7
2017/SDD-11

1 OVERALL PLAN - LEVEL 2
1"=16'-0"



ARCHITECT:
THE WALKER GROUP INC.
COURTESY SUPERIOR AND
CONSTRUCTION OF THE PROJECT
WALLS UNDER CONTRACT.

NOTE: CONTRACTOR SHALL VERIFY
AND VERIFY ALL DIMENSIONS AND
BEFORE PROCEEDING WITH WORK.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

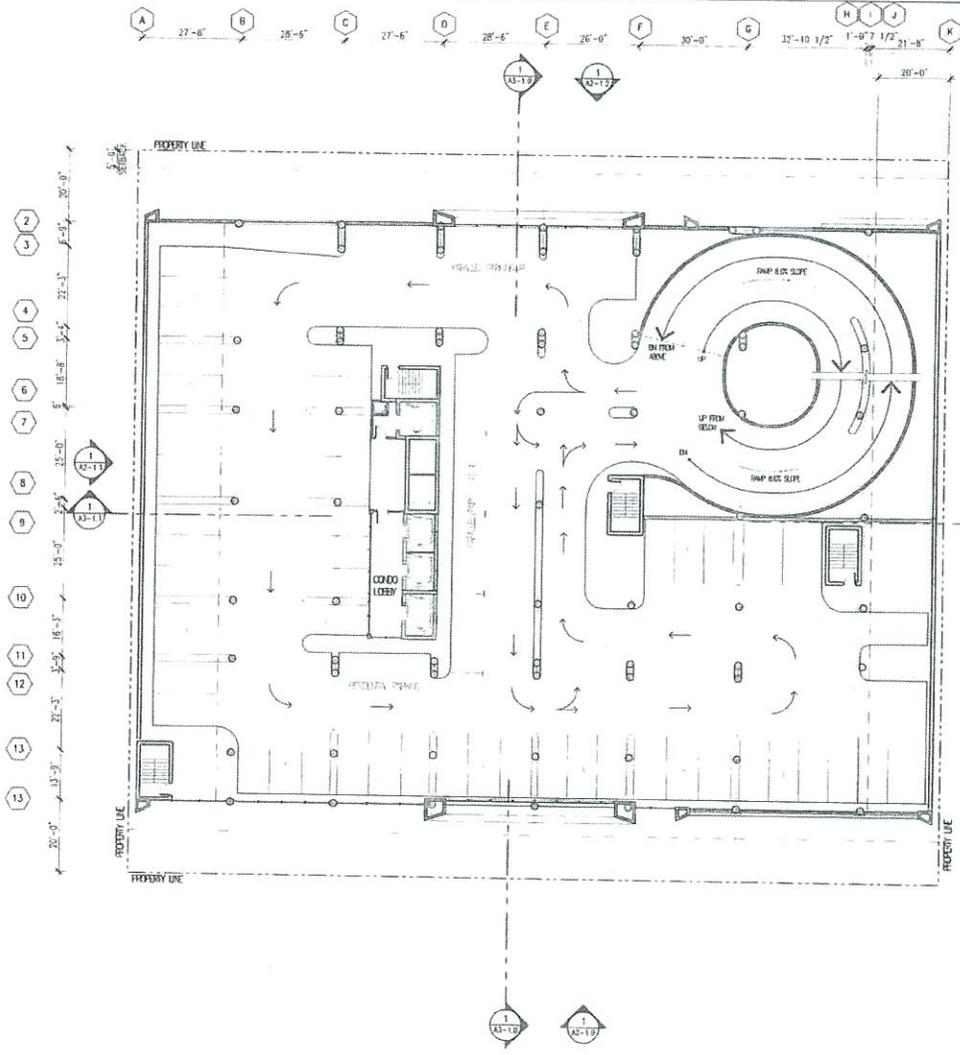
Hawaii Ocean Plaza
Honolulu, Hawaii
TMK 2-5-016-018/019/020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE 2016 DECEMBER 16
PROJECT # 16009

SHEET CONTENT:
**OVERALL PLAN -
LEVEL 2**

SHEET NO:
A1 -1.5



FORD ELEVATOR LOBBY AREA

LOBBY	257.00 SF
TROUGH ROOM	70.00 SF
TOTAL	327.00 SF

OPERATION AREA

STAIRS	656.00 SF
ELEVATOR	877.00 SF
TOTAL	1,533.00 SF

OVERALL FINISH AREA
33,726.00 SF

PARKING SHALL COORDINATE
55 TOTAL SPACES

EXHIBIT B-8
2017/SDD-11

1 OVERALL PLAN - LEVEL 3
1"=16'-0"



ARCHITECT:
THE WORK AND DESIGN OF FSC ARCHITECTS IS THE PROPERTY OF FSC ARCHITECTS. NO PART OF THIS PROJECT WILL BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF FSC ARCHITECTS.

NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

Hawaii Ocean Plaza
Honolulu, Hawaii
TEL: 808-233-0116 / 0118 / 0119 / 0120

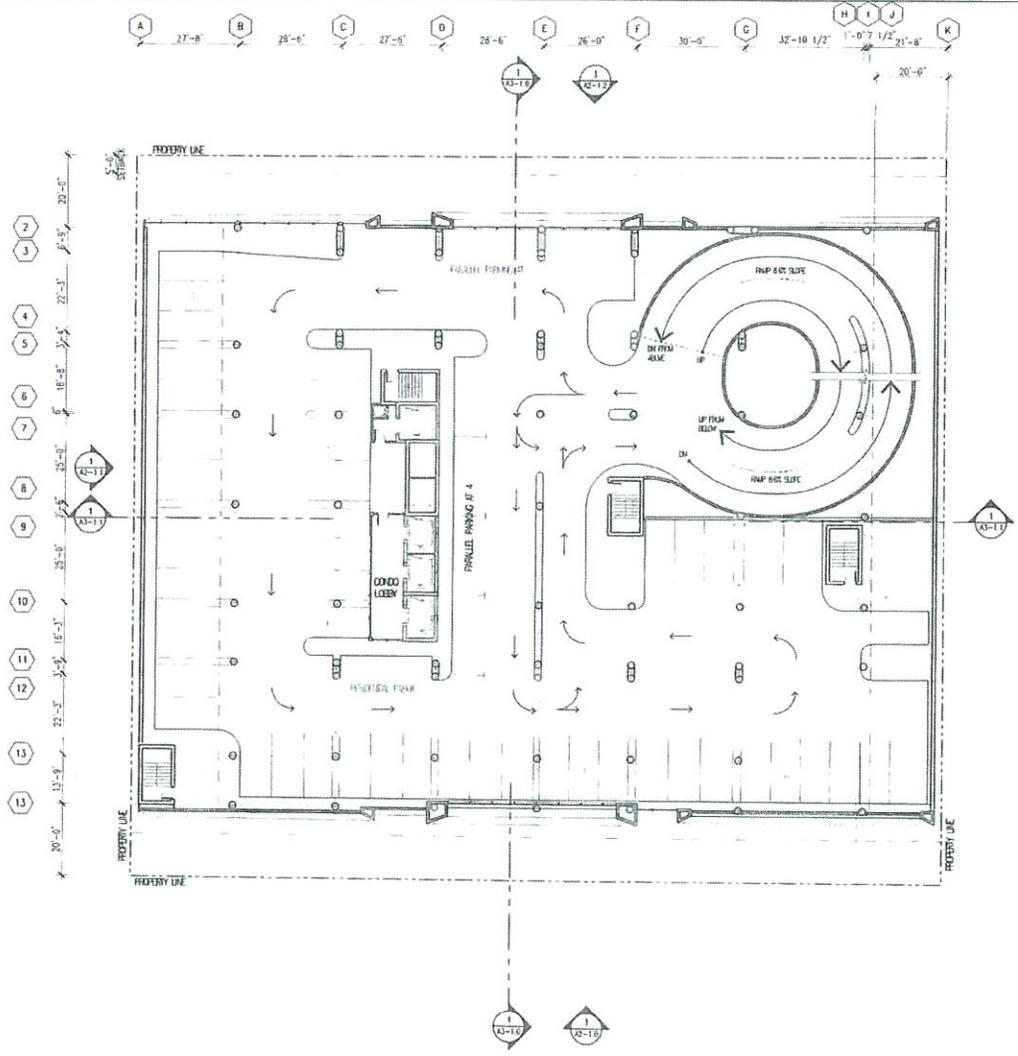
INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE: 2016 DECEMBER 16
PROJECT # 16009

SHEET CONTENT:
OVERALL PLAN
LEVEL 3

SHEET NO.

A1-16



HOTEL ELEVATOR LOBBY AREA

LOBBY	25700 SF
TROCH FLOOR	73000 SF
TOTAL	32700 SF

CIRCULATION AREA

STAIRS	65600 SF
ELEVATOR	67700 SF
TOTAL	1,33300 SF

OVERALL PARKING AREA
35,800 SF

PARKING STALL COUNT
50 TOTAL STALLS

EXHIBIT B-9
2017/SDD-11

1 OVERALL PLAN - LEVEL 4
1"=16'-0"



ARCHITECT
BIG WORK AND PROGRESSIVE
DESIGN WITH SUPERIOR AND
CONCRETE OF PROJECTS
VALUED BY OUR CLIENTS.

NOTE: CONSTRUCTION FIELD NO. AND OFFICIAL SIGNATURE ARE FOR
RECORD PURPOSES ONLY.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

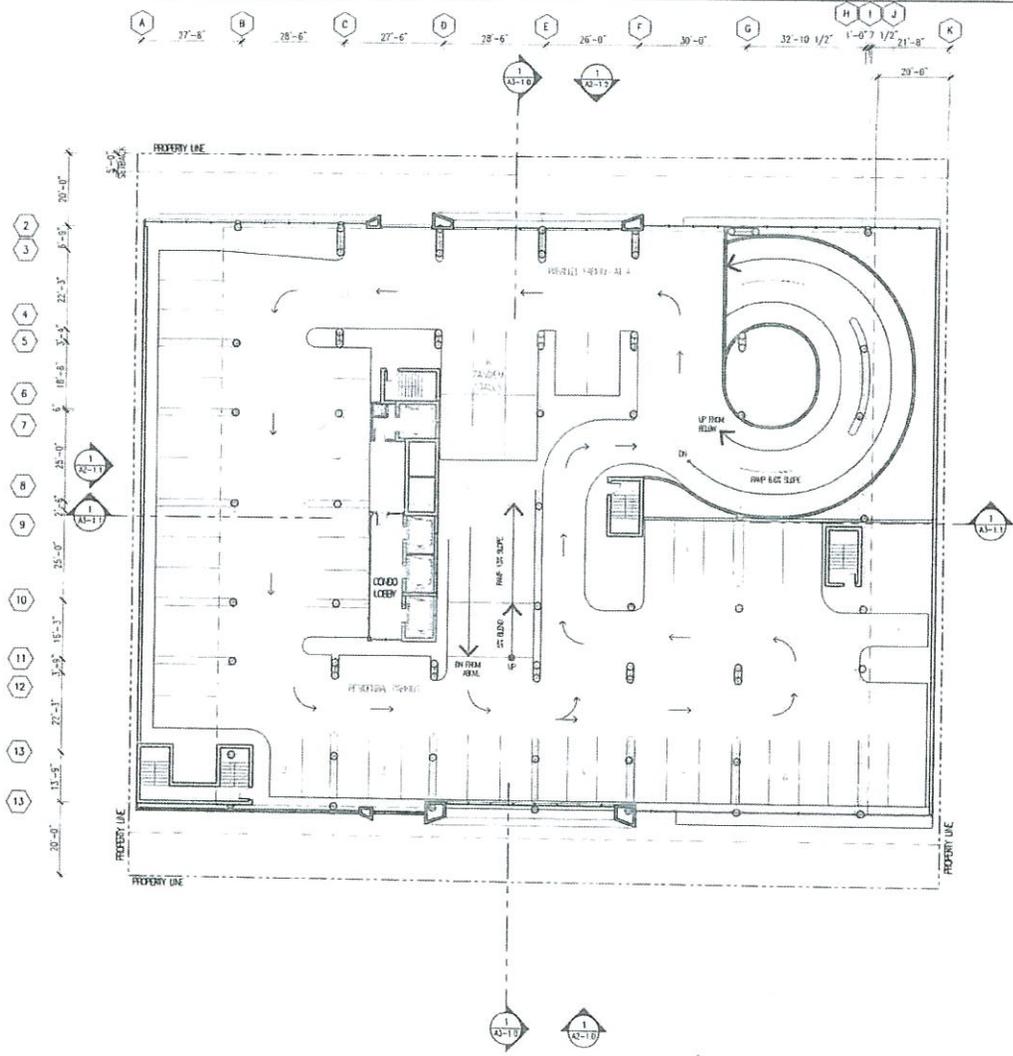
Hawaii Ocean Plaza
Honolulu, Hawaii
TASK 2-3-016-018 / 019 / 020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE 2016 DECEMBER 16
PROJECT # 16079

SHEET CONTENT:
OVERALL PLANS
LEVEL 4

SHEET NO.
A1 - 1.7



HOTEL ELEVATOR LOBBY AREA

LOBBY	257.00 SF
RESTROOM	70.00 SF
TOTAL	327.00 SF

CIRCULATION AREA

STAIRS	880.00 SF
ELEVATOR	677.00 SF
TOTAL	1,557.00 SF

OVERALL PARKING AREA
35,961.00 SF

PARKING STALL COUNT:
26 TOTAL STALLS

EXHIBIT B-10
2017/SDD-11

1 OVERALL PLAN - LEVEL 5
1"=16'-0"



ARCHITECT
REVIEWING PROVIDED IN THE
CONTRACT AND SUBSEQUENT
CONSTRUCTION OF PROJECT
WILL BE FOR INFORMATION ONLY.

NOTE: CONTRACTOR SHALL OBTAIN
APPROPRIATE PERMITS AND ALL
OTHER REGULATORY REQUIREMENTS.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

Hawaii Ocean Plaza
Honolulu, Hawaii
TMK 2-3-016-018/019/020

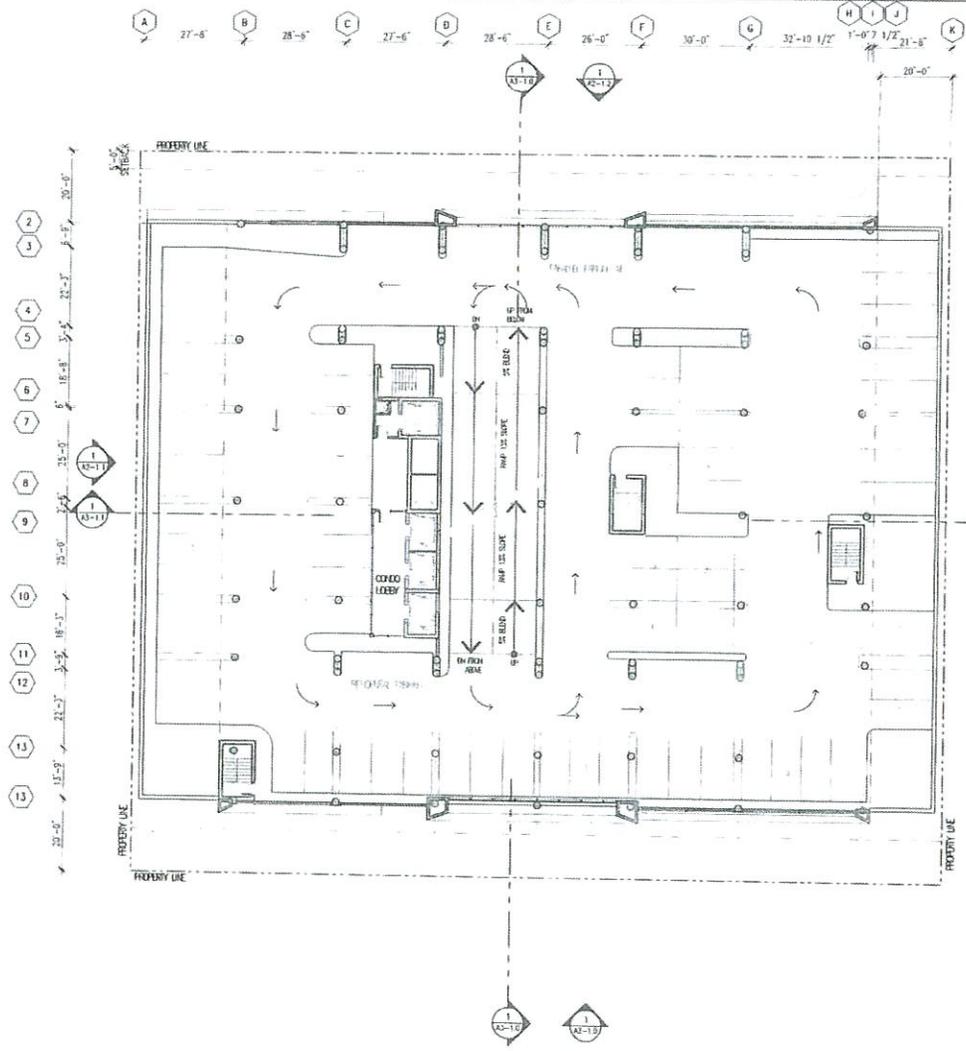
INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE: 2016 DECEMBER 16
PROJECT # 16009

SHEET CONTENT
OVERALL PLAN -
LEVEL 5

SHEET NO.

A1-1.8



HOTEL ELEVATOR LOBBY AREA:

LOBBY	257.00 SF
PUSH ROOM	70.00 SF
TOTAL	327.00 SF

OFFICE AREA:

STAIRS	66.00 SF
ELEVATOR	677.00 SF
TOTAL	1343.00 SF

OVERALL PARKING AREA:
28,283.00 SF

PARKING STALL COUNT:
66 TOTAL STALLS

EXHIBIT B-11
2017/SDD-11

1 OVERALL PLAN - LEVEL 6
1"=16'-0"



ARCHITECT:
BRUCE GARDNER AND ASSOCIATES
1000 KALANIAN'OLEKI BLVD, SUITE 1000
HONOLULU, HI 96813

HOST CONTRACTOR/PLANNING AND
DEVELOPMENT/ARCHITECT:
CALIFORNIA INVESTMENT REGIONAL
CENTER LLC

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

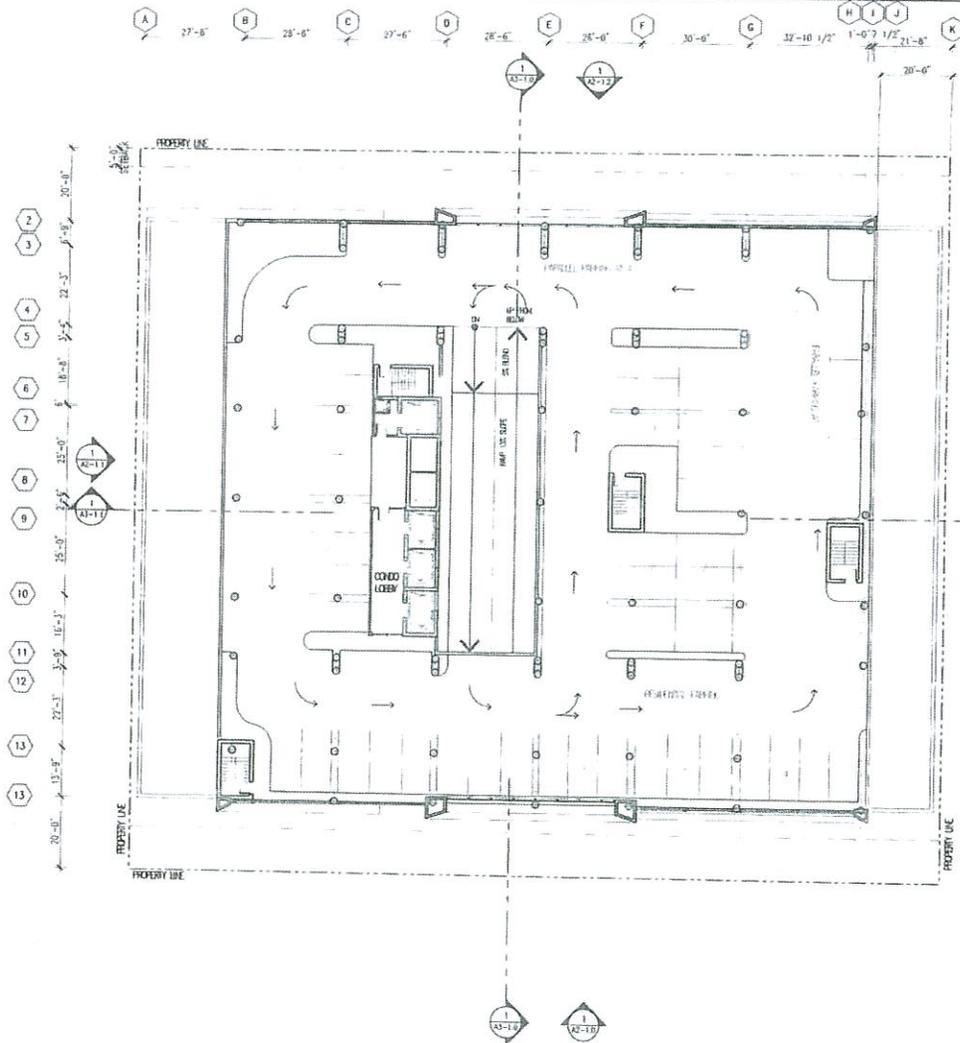
Hawaii Ocean Plaza
Honolulu, Hawaii
T.M.C. 2-3-016:018/019/020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE 2016 DECEMBER 16
PROJECT # 16009

SHEET CONTENT
OVERALL PLAN:
LEVEL 6

SHEET NO
A1-19



HOTEL ELEVATOR LOBBY AREA

LOBBY	267.00 SF
TRASH ROOM	70.00 SF
TOTAL	337.00 SF

ORCLATION AREA

STAIRS	640.00 SF
ELEVATOR	471.00 SF
TOTAL	1,111.00 SF

OVERALL PARKING AREA
29,285.00 SF

PARKING SILL CEILING
47 TOTAL STAIRS

EXHIBIT B-12
2017/SDD-11

1 OVERALL PLAN - LEVEL 7
1"=16'-0"



ARCHITECT
NEWBOLD PERKINS LLC
ORANGE COUNTY
CONSTRUCTION PROJECT
SOLUTIONS ARCHITECTS

ALL DIMENSIONS UNLESS
NOTED OTHERWISE ARE
FROM FINISH FACE WORK

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

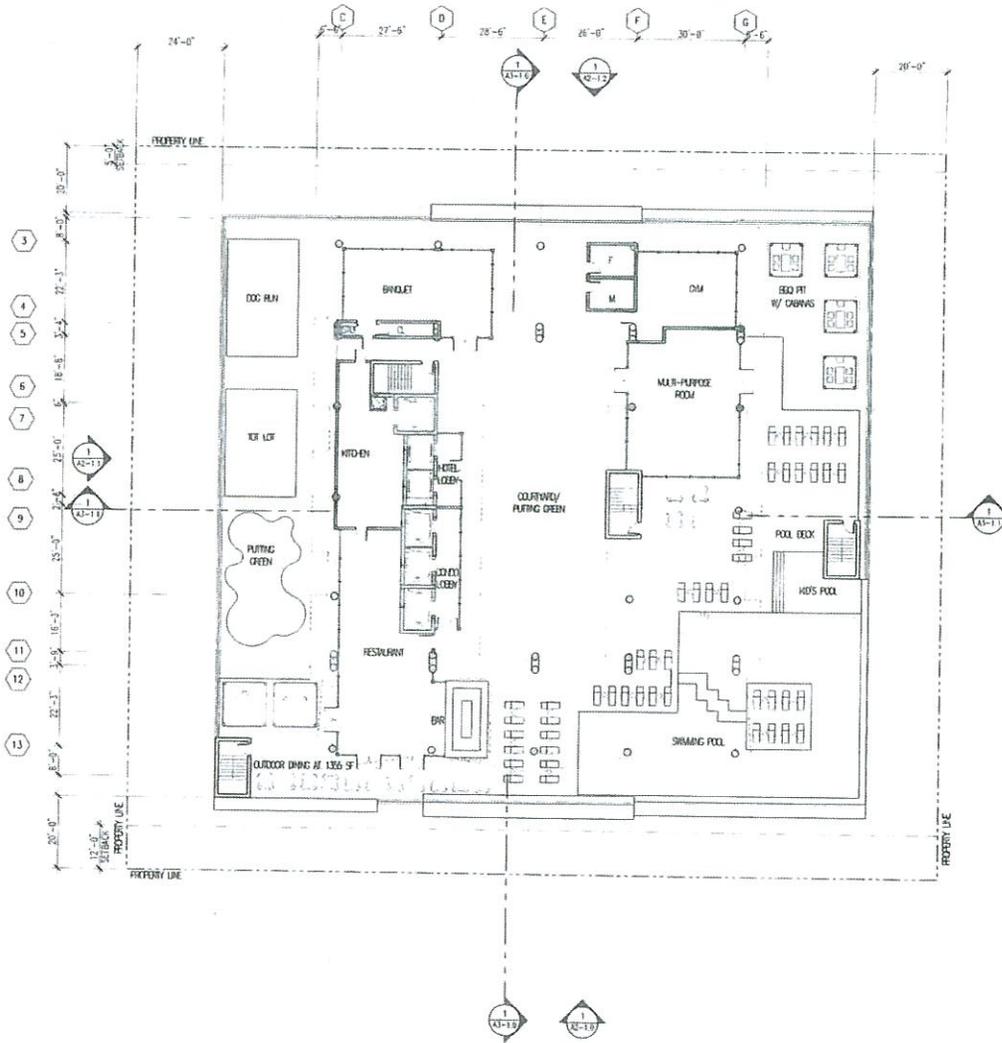
Hawaii Ocean Plaza
Honolulu, Hawaii
TMX 2-3-016-018/019/020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE 2016 DECEMBER 16
PROJECT # 16009

SHEET CONTENT
OVERALL PLAN -
LEVEL 7

SHEET NO.
A1-110



TOTAL INDOOR FLOOR AREA	
HOTEL LOBBY	1480 SF
COFFEE LOBBY	2400 SF
RESTAURANT	1,735.00 SF
BREAKET ROOM	1,050.00 SF
KITCHEN	750.00 SF
MULTI-PURPOSE ROOM	1,275.00 SF
DM	630.00 SF
TOILETS	266.00 SF
ENCLOSED CIRCULATION	1,363.00 SF
TOTAL	7,860.00 SF

COVERED OPEN-AIR CIRCULATION	9,222.00 SF
TOTAL FLOOR AREA	16,680.00 SF

16,688.00 SF TOWER FOOTPRINT ABOVE
 -7,466.00 SF INDOOR FLOOR AREA
 9,222.00 SF COVERED OPEN-AIR CONC.

28,734.00 SF TOWER FOOTPRINT BELOW
 -16,688.00 SF TOWER FOOTPRINT ABOVE
 12,046.00 SF ROOF DECK OPEN TO ABOVE

EXHIBIT B-13
2017/SDD-11

1 OVERALL PLAN - LEVEL 8
 1"=16'-0"



ARCHITECT
 MEMORANDUMS/RESPONSES
 DISCUSSIONS/PROPOSALS
 CONSTRUCTION PROGRAMS
 AND RECORD DRAWINGS

FOR CONTRACTORS AND OTHER
 PROFESSIONALS TO USE
 AT THEIR OWN RISK

CALIFORNIA
 REGIONAL
 CENTER LLC

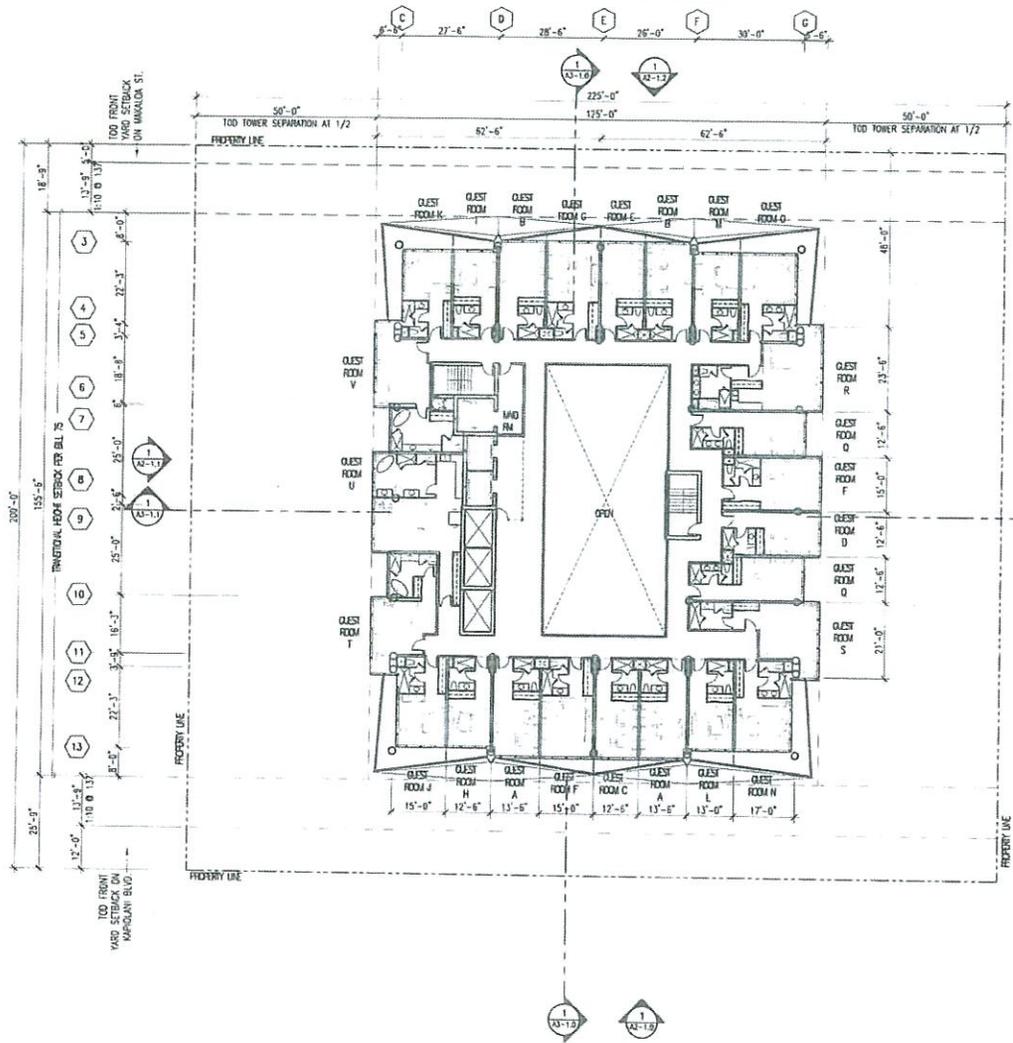
Hawaii Ocean Plaza
 Honolulu, Hawaii
 TASK 2-3-016-018/019/020

INTERIM PLANNED
 DEVELOPMENT
 FEASIBILITY STUDY

DATE 2016 DECEMBER 16
 PROJECT # 16009

SHEET CONTENT
 OVERALL PLANS
 LEVEL 8

SHEET NO
 A1 - 111



TOTAL HOTEL ROOM FLOOR AREA
102,280.00 SF X 7 FLOORS = 715,060.00 SF

TOTAL FLOOR AREA (NOT INCLUDING COMMON ELEV SHIFTS)
13,902.00 SF X 7 FLOORS = 97,314.00 SF

COMMON ELEV SHIFTS = 261.00 SF (NOT COULDED)

HOTEL CORRIDOR = 35,980.00 SF
LND ROOM = 155.00 SF
HOTEL TOTAL CHG. = 3,604.00 SF

EXHIBIT B-14
2017/SDD-11

1 HOTEL FLOOR PLAN-LEVEL 9-15
1"=16'-0"



ARCHITECT:
FISHBEINER PERIN ROSS
CORPORATION/SUNSHINE
CONSTRUCTION PROJECTS
SHELLEIGH MCGEE/OWNER

NOTE: CONTRACTOR SHALL CHECK
AND VERIFY ALL CONCRETE SETS
FOR PROTECTION WORK.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

Hawaii Ocean Plaza
Honolulu, Hawaii
TMK 2-3-016-019/019/020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

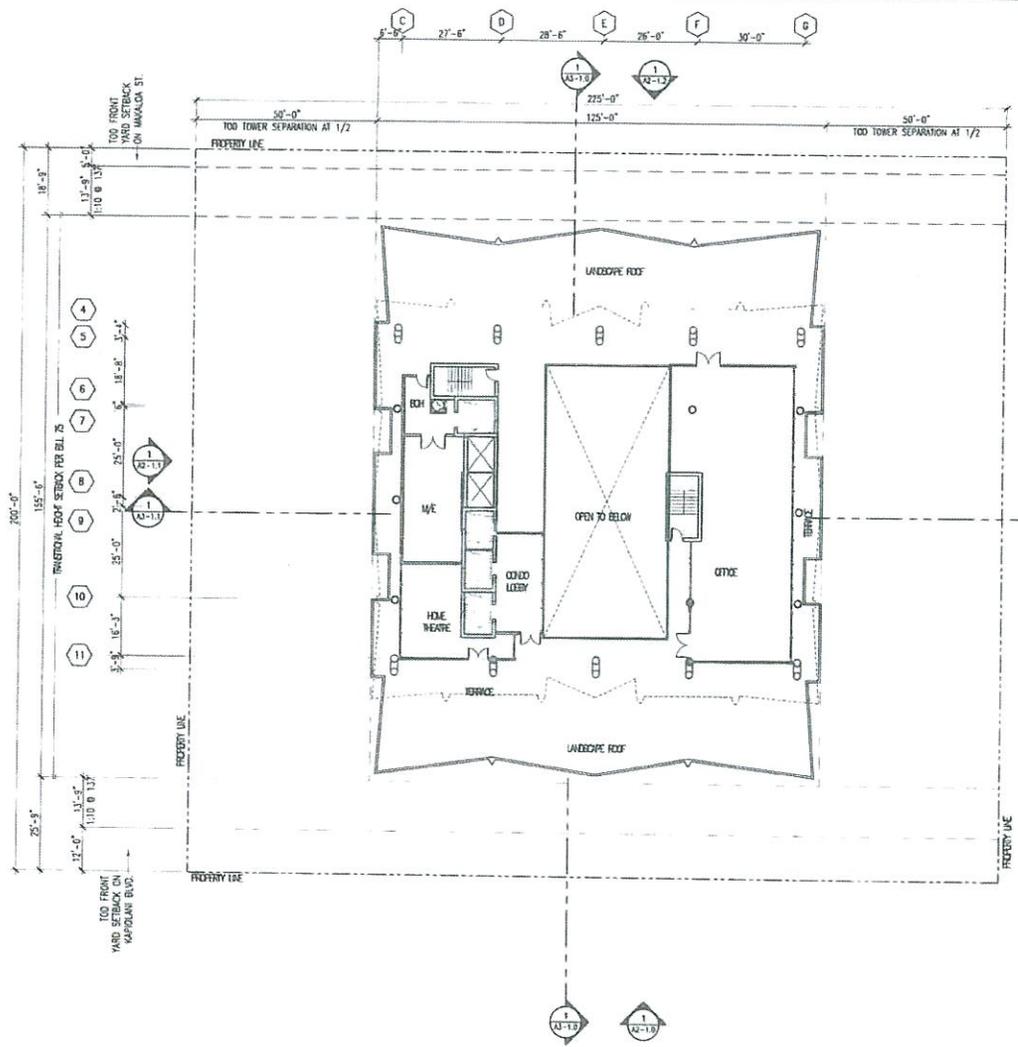
DATE: 2016 DECEMBER 16
REV: 10 MARCH 2017
REV: 25 APRIL 2017

PROJECT # 16009

SHEET CONTENT:
OVERALL PLAN:
LEVEL 9-15

SHEET NO.

A1-1.12



TOTAL INDOOR FLOOR AREA:

CONF LOBBY	375.00 SF
OFFICE	2,400.00 SF
HOME THEATRE	1,500.00 SF
MEET & ELEC.	566.00 SF
BRN	200.00 SF
ENCLOSED OPR.	1,037.00 SF
TOTAL INDOOR FL. AREA	5,280.00 SF
COVERED OPEN-AIR ENCLOSURE	5,357.00 SF
TOTAL FLOOR AREA	10,637.00 SF

13,170.00 SF TOWER FOOTPRINT ABOVE
 -5,280.00 SF INDOOR FLOOR AREA
 -2,533.00 SF ATRIUM
 5,357.00 SF COVERED OPEN-AIR CIRC.

17,369.00 SF TOWER FOOTPRINT BELOW
 -13,170.00 SF TOWER FOOTPRINT ABOVE
 4,219.00 SF ROOF DECK OPEN TO ABOVE

**EXHIBIT B-15
 2017/SDD-11**

1 OVERALL PLAN - LEVEL 16
 1"=16'-0"



ARCHITECT:
 FSC ARCHITECTS
 1000 KALANANAKUHIWA DRIVE
 HONOLULU, HAWAII 96813
 TEL: 808.551.1111
 WWW.FSCARCHITECTS.COM

NOTE: DIMENSIONS SHALL GOVERN OVER ALL DIMENSIONS OF THE WORK.
 DIMENSIONS SHALL GOVERN OVER ALL DIMENSIONS OF THE WORK.

CALIFORNIA
 INVESTMENT
 REGIONAL
 CENTER LLC

Hawaii Ocean Plaza
 Honolulu, Hawaii
 TMK 2-3-016-018 / 019 / 020

WITHIN PLANNED
 DEVELOPMENT
 FEASIBILITY STUDY

DATE: 2016 DECEMBER 16
 REV. 19 MARCH 2017
 REV. 25 APRIL 2017

PROJECT # 16099

SHEET CONTENT:
 OVERALL PLAN:
 LEVEL 16

SHEET NO.

A1-1.13

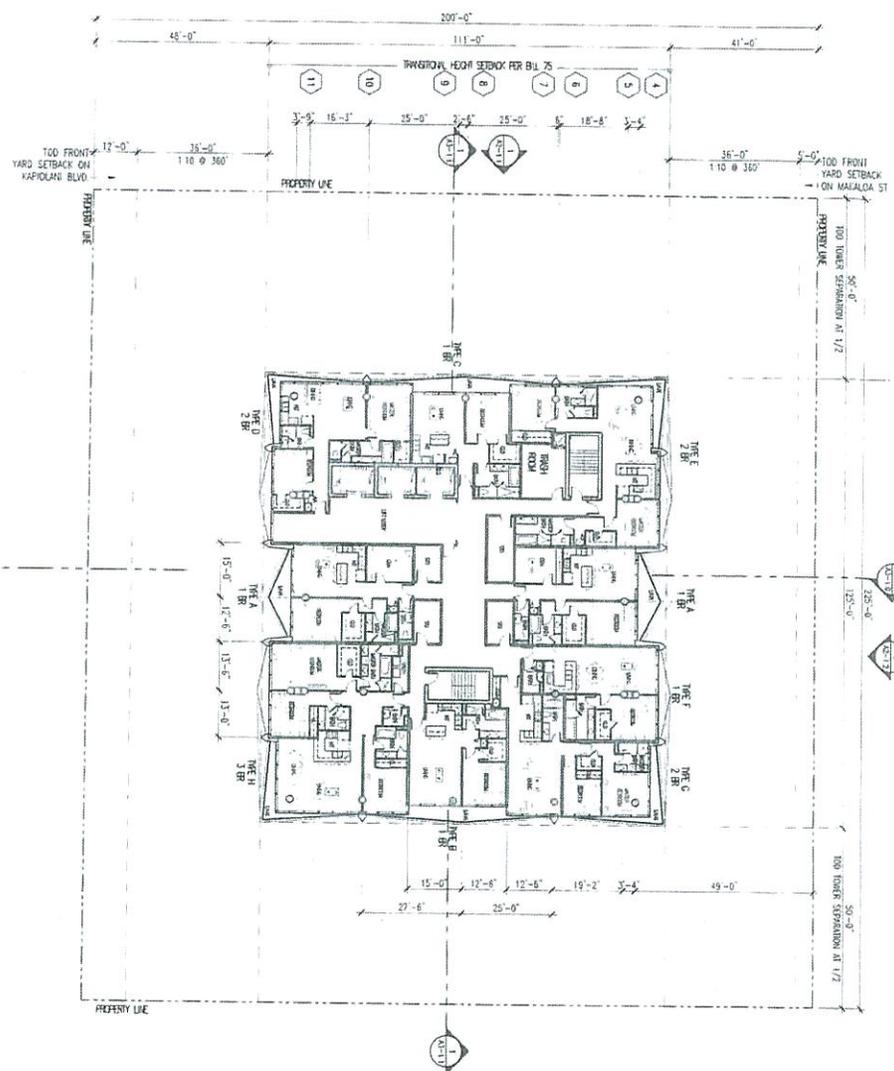


EXHIBIT B-16
2017/SDD-11

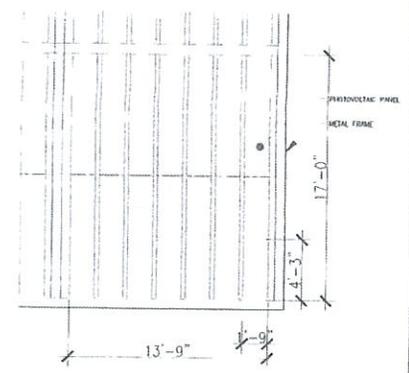
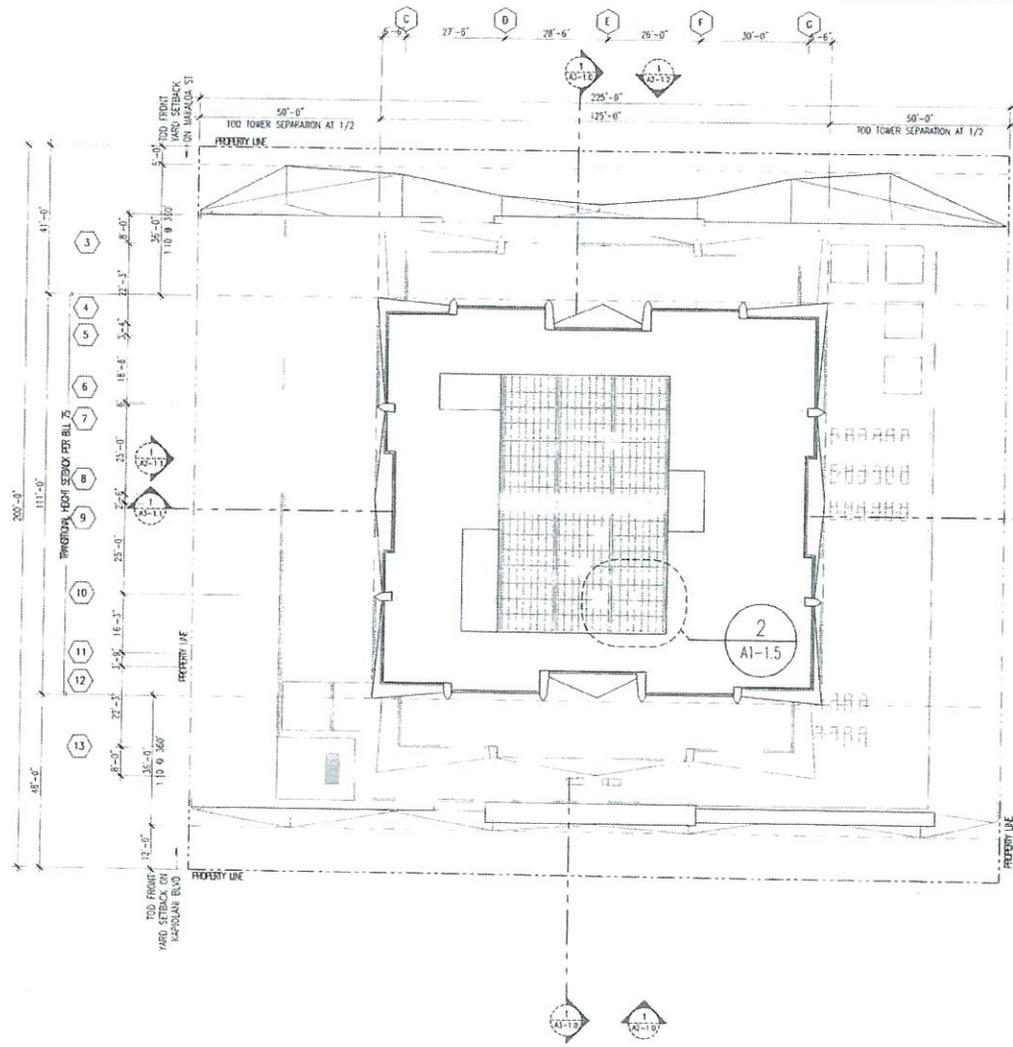
1 RESIDENTIAL CONDOMINIUM FLOOR PLAN LVL. 17-40
 SHEET NO. A1-114



UNIT	AREA	UNIT AREA
UNIT A	583.33 SF	59.60 SF LAM
UNIT B	570.00 SF	59.60 SF LAM
UNIT C	786.43 SF	47.20 SF LAM
UNIT D	1056.79 SF	65.20 SF LAM
UNIT E	1252.03 SF	90.20 SF LAM
UNIT F	812.29 SF	60.00 SF LAM
UNIT G	1048.40 SF	63.60 SF LAM
UNIT H	1783.03 SF	103.20 SF LAM
AREA TOTAL	9234.10 SF	

DESCRIPTION	AREA
CORRIDOR	2280.00 SF
TRASH ROOM	20.00 SF
STORAGE ROOM	415.00 SF
FLOOR AREA	12329.10 SF X 3 FLOORS = 37087.30 SF

	ARCHITECT THOMAS W. GARDNER, AIA DANIEL J. GARDNER, AIA DANIEL M. GARDNER, AIA DANIEL R. GARDNER, AIA DANIEL S. GARDNER, AIA DANIEL T. GARDNER, AIA DANIEL U. GARDNER, AIA DANIEL V. GARDNER, AIA DANIEL W. GARDNER, AIA DANIEL X. GARDNER, AIA DANIEL Y. GARDNER, AIA DANIEL Z. GARDNER, AIA	GENERAL CONTRACTOR CALIFORNIA INVESTMENT REGIONAL CENTER LLC	PROJECT INFORMATION HAWAII OCEAN PLAZA HONOLULU, HAWAII TMK 2-3-016:018/019/020
SHEET NO. A1-114	SHEET CONTENT OVERALL PLAN LEVEL 17-40	DATE 10 MARCH 2017 REV. 23 APRIL 2017 PROJECT # 10000	INTERVIEW/REVISIONS DATE: 10 MARCH 2017 REV: 23 APRIL 2017 PROJECT # 10000



2 DETAILED PLAN - SOLAR CANOPY
1/4" = 1'-0"



EXHIBIT B-17 2017/SDD-11

1 RESIDENTIAL CONDOMINIUM ROOF PLAN
1" = 10'-0"



ARCHITECT:
FSC ARCHITECTS

NOT CONTRACTOR'S USE ONLY
INDIVIDUALS SHOULD NOT BE USED FOR THIS PROJECT WITHOUT PERMISSION

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

Hawaii Ocean Plaza
Honolulu, Hawaii
T.M.K. 2-3-016-01B/019/020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE 2016 DECEMBER 15
PROJECT # 16009

SHEET CONTENT:
OVERALL PLAN:
ROOF PLAN

SHEET NO.

A1-1.15

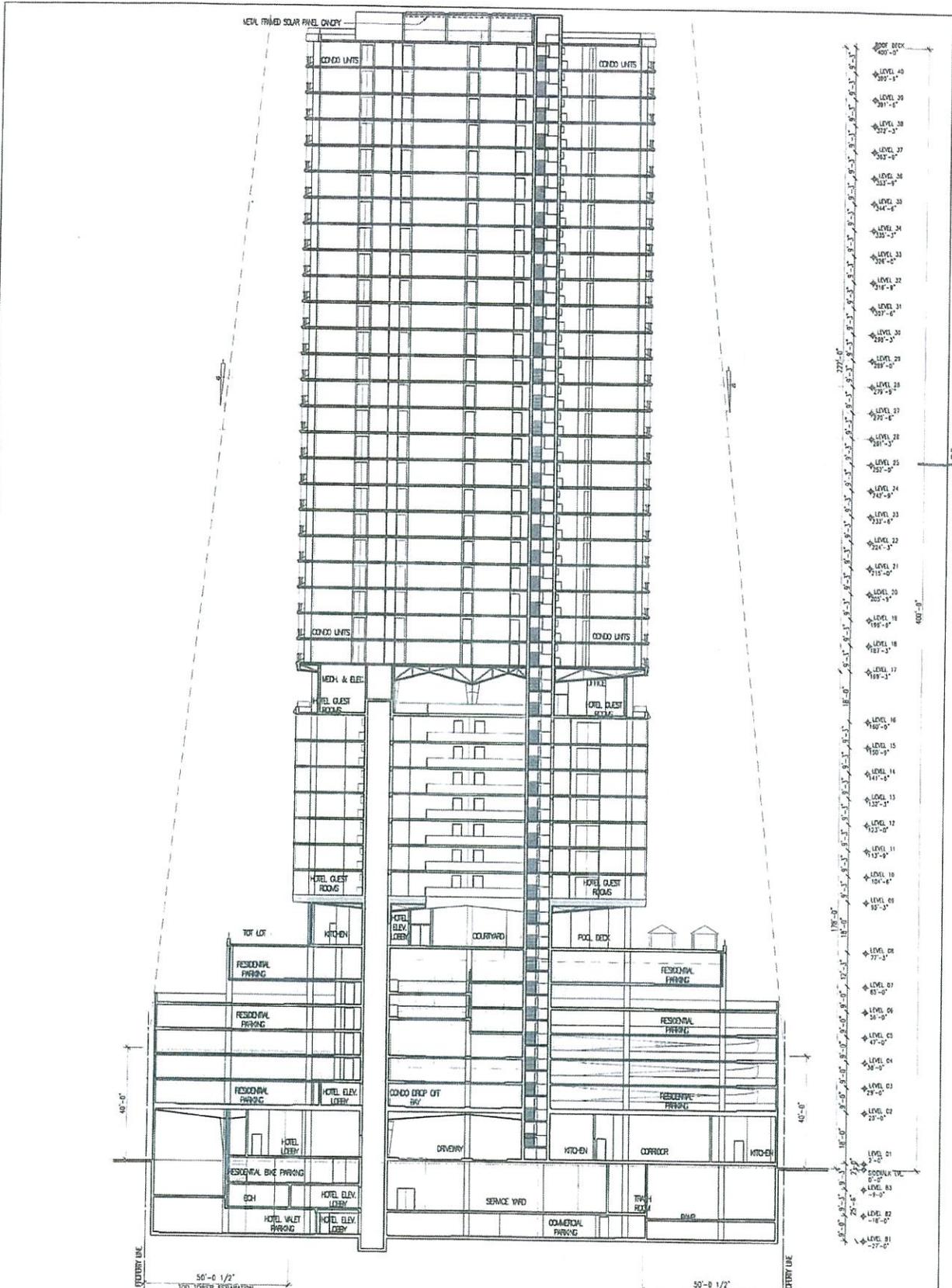


EXHIBIT B-19
2017/SDD-11

1 OVERALL PLAN - SECTION B
1"=18'-0"



SHEET NO. A3-11	SHEET COMMENT SECTION B	SUBMITTANT DEVELOPER PROJECT # 16009	DATE 2016 DECEMBER 16 REV. 20 JANUARY 2017 PROJECT # 16009	HAWAII OCEAN PLAZA HONOLULU, HAWAII TMK 2-3-016:018/019/020	CALIFORNIA INVESTMENT CENTRAL, LLC	ARCHITECT 300 KALANIANAʻOHE AVENUE, SUITE 1000 HONOLULU, HAWAII 96813 PHONE: (808) 551-1111 FAX: (808) 551-1112 WWW.CALIFORNIAINVESTMENTCENTRAL.COM	
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250' MAX
HEIGHT
LIMIT

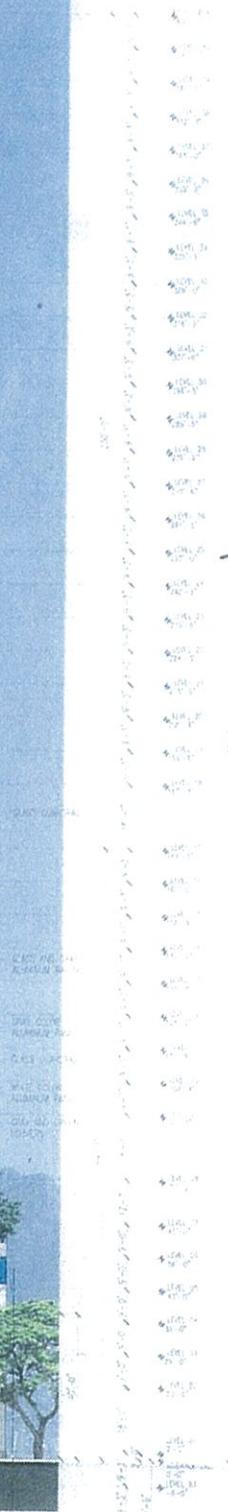


EXHIBIT B-20
2017/SDD-11

1 ELEVATION - SOUTH-WEST



Hawaii Ocean Plaza
Honolulu, Hawaii
TMK 2 3 016 018/019/020

CALIFORNIA
INVESTMENT
REGIONAL
CENTER, LLC



A3-20

FRONT ELEVATION

DATE: 16 DEC 2016 16
PROJECT: 1809-5



250' MAX
HEIGHT
LIMIT

EXHIBIT B-21
2017/SDD-11

ELEVATION - NORTHWEST



<p>DATE: 2016 FEBRUARY 16 REV: 10 MARCH 2017 PROJECT: 10099 S SHEET NO: A3-21</p>	<p>ARCHITECT: ESC ARCHITECTS PROJECT: HAWAII OCEAN PLAZA PHASE: ARCHITECTURAL ELEVATION DATE: 2016 FEBRUARY 16 REV: 10 MARCH 2017</p>	<p>Hawaii Ocean Plaza Honolulu, Hawaii TMK 2-3-016 018 / 019 / 020</p>	<p>CALIFORNIA INVESTMENT REGIONAL CENTER LLC 10099 S HAWAII OCEAN PLAZA PHASE: ARCHITECTURAL ELEVATION DATE: 2016 FEBRUARY 16 REV: 10 MARCH 2017</p>
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250' MAX
HEIGHT
LIMIT

GLASS CURTAIN
GLASS AND GRY ALUMINUM PANELS
GRAY COLOR ALUMINUM PANELS
GLASS CURTAIN
WHITE COLOR ALUMINUM PANELS
GRAY AND GREEN LEAVES

ELEVATION - NORTHEAST



EXHIBIT B-22
2017/SDD-11

Hawaii Ocean Plaza
Honolulu, Hawaii
TMK 2-3-016-018/019/020

A3-22

BACK ELEVATION

DATE: 2/1/2017
PROJECT: HOPS

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

ESQ ARCHITECTS



ARCHITECT
REGISTERED PROFESSIONAL ENGINEERS
REGISTERED ARCHITECTS
REGISTERED PLANNERS
REGISTERED INTERIORS DESIGNERS
REGISTERED LANDSCAPE ARCHITECTS

NOTE: CONTRACTOR SHALL OBTAIN
AND OBTAIN ALL NECESSARY PERMITS
BEFORE PROCEEDING WITH WORK.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

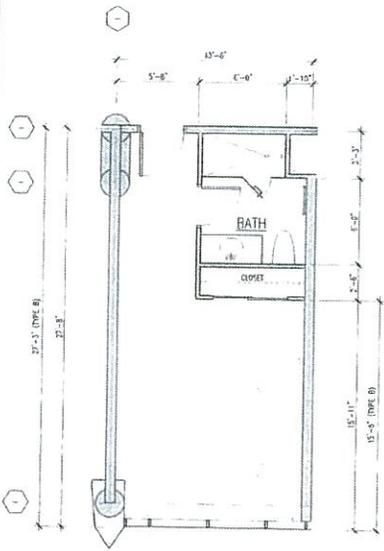
Hawaii Ocean Plaza
Honolulu, Hawaii
TMK 2-3-016-01B/019/030

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE: 2016 DECEMBER 16
PROJECT # 16009

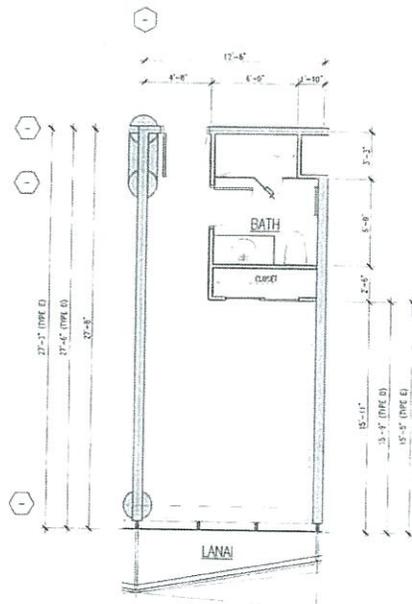
SHEET CONTENT
HOTEL GUEST ROOM
UNIT PLAN
A-I

SHEET NO.
A2-21



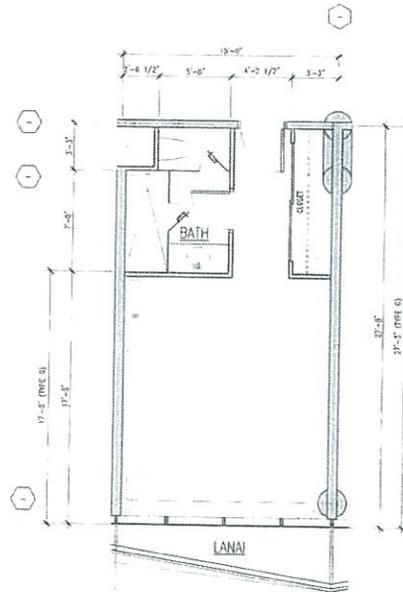
1 HOTEL UNIT PLAN - TYPE A & B
1/4" = 1'-0"

TYPE A FLOOR AREA 373.00 S.F.
TYPE B FLOOR AREA 368.00 S.F.



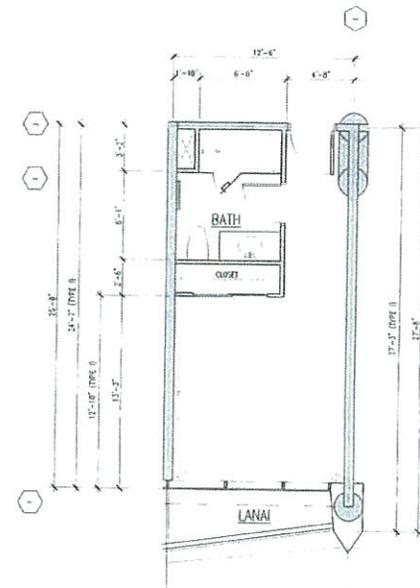
2 HOTEL UNIT PLAN - TYPE C, D & E
1/4" = 1'-0"

TYPE C FLOOR AREA: 346.00 S.F.
TYPE D FLOOR AREA 345.00 S.F.
TYPE E FLOOR AREA 341.00 S.F.



3 HOTEL UNIT PLAN - TYPE F & G
1/4" = 1'-0"

TYPE F FLOOR AREA 414.00 S.F.
TYPE G FLOOR AREA 409.00 S.F.



4 HOTEL UNIT PLAN - TYPE H & I
1/4" = 1'-0"

TYPE H FLOOR AREA 315.00 S.F.
TYPE I FLOOR AREA 310.00 S.F.

EXHIBIT B-23
2017/SDD-11

GUEST ROOM - TYPE A - I





ARCHITECT:
THE HONOLULU ARCHITECTURAL CENTER
1000 KALANOAU AVENUE, SUITE 100
HONOLULU, HAWAII 96813

NOTE: CONTRACTOR SHALL OBTAIN
NECESSARY PERMITS AND
APPROVALS PRIOR TO CONSTRUCTION.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

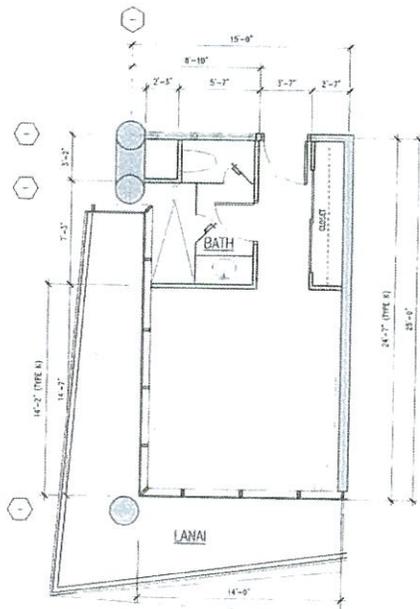
Hawaii Ocean Plaza
Honolulu, Hawaii
TMIC 2-3-016-018/019/020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE 2016 DECEMBER 16
PROJECT # 16009

SHEET CONTENT
HOTEL GUEST ROOM
UNIT PLAN
J-O

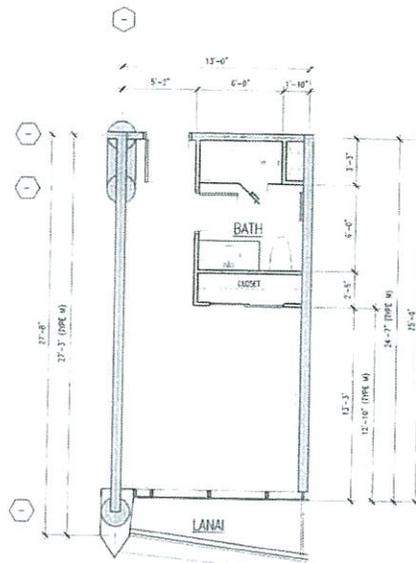
SHEET NO
A2-22



1 HOTEL UNIT PLAN - TYPE J & K

1/4" = 1'-0"

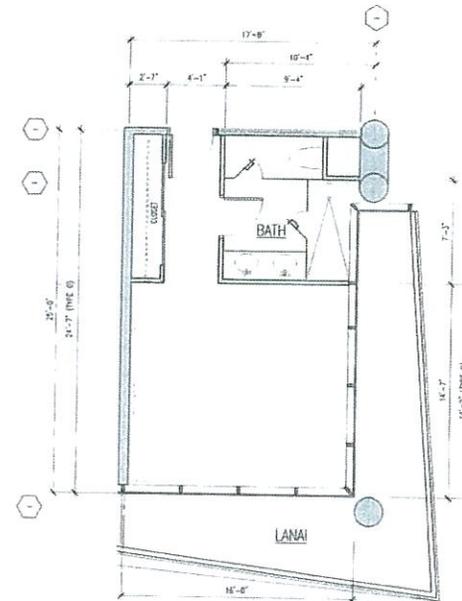
TYPE J FLOOR AREA: 355.00 S.F.
TYPE K FLOOR AREA: 349.00 S.F.



2 HOTEL UNIT PLAN - TYPE L & M

1/4" = 1'-0"

TYPE L FLOOR AREA: 328.00 S.F.
TYPE M FLOOR AREA: 323.00 S.F.



3 HOTEL UNIT PLAN - TYPE N & O

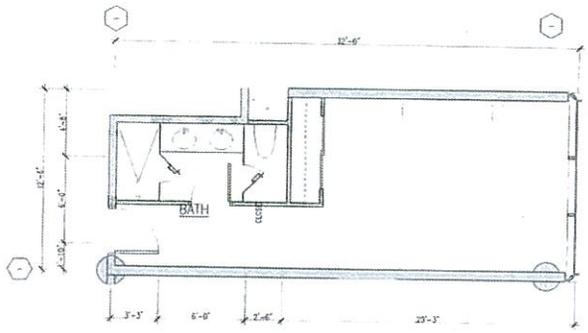
1/4" = 1'-0"

TYPE N FLOOR AREA: 405.00 S.F.
TYPE O FLOOR AREA: 398.00 S.F.

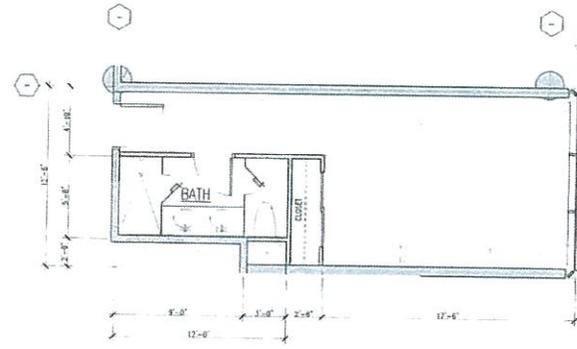
EXHIBIT B-24 2017/SDD-11

GUEST ROOM - TYPE J - O

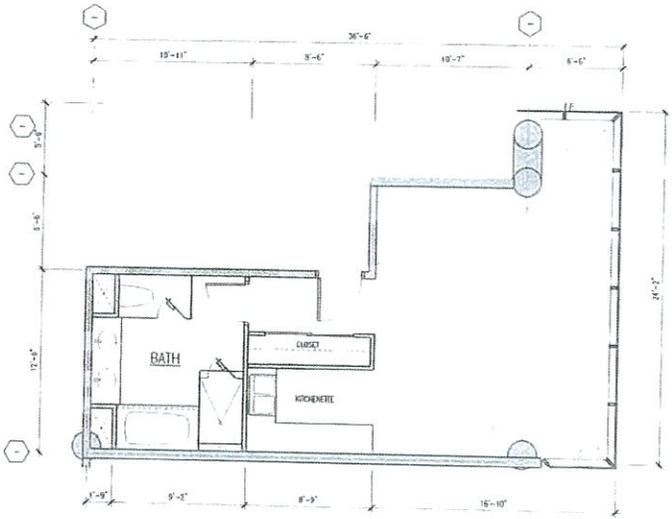




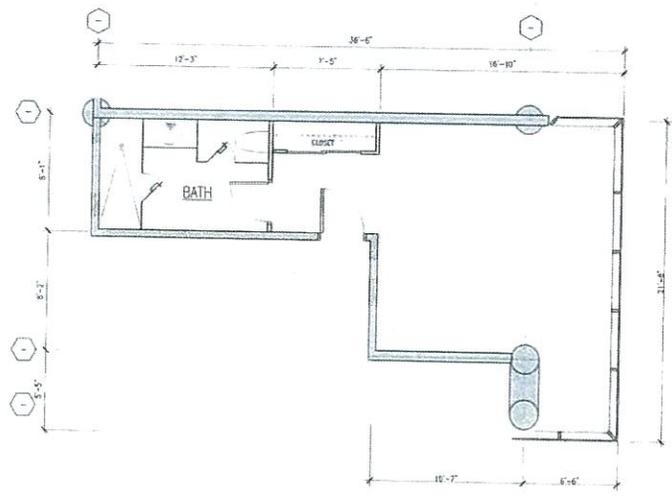
1 HOTEL UNIT PLAN - TYPE P
 1/4" = 1'-0"
 FLOOR AREA: 382.00 S.F.



2 HOTEL UNIT PLAN - TYPE Q
 1/4" = 1'-0"
 FLOOR AREA: 382.00 S.F.



3 HOTEL UNIT PLAN - TYPE R
 1/4" = 1'-0"
 TOTAL AREA: 607.00 S.F.



4 HOTEL UNIT PLAN - TYPE S
 1/4" = 1'-0"
 TOTAL AREA: 472.00 S.F.

EXHIBIT B-25
2017/SDD-11
 GUEST ROOM - TYPE P-S



ARCHITECT
 FIRM/COMPANY: FSC ARCHITECTS
 PROJECT: HOTEL GUEST ROOM UNIT PLAN P-S

NOTE: CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES.

CALIFORNIA INVESTMENT REGIONAL CENTER LLC

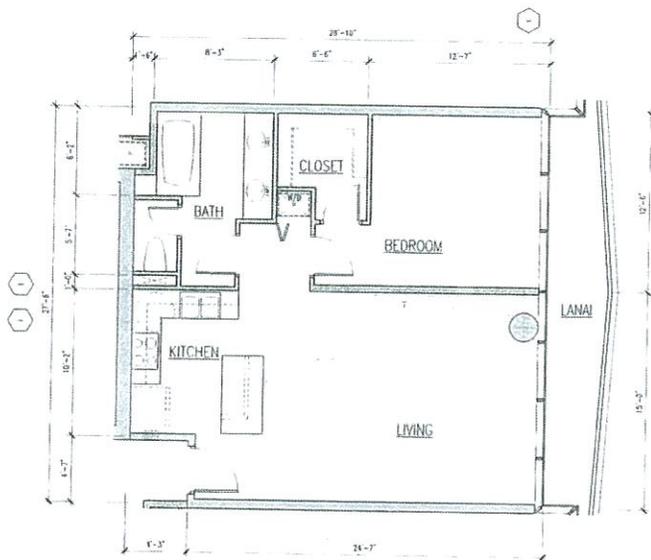
Hawaii Ocean Plaza
 Honolulu, Hawaii
 TMX 2-3-016-018/019/020

INTERIM PLANNED DEVELOPMENT FEASIBILITY STUDY

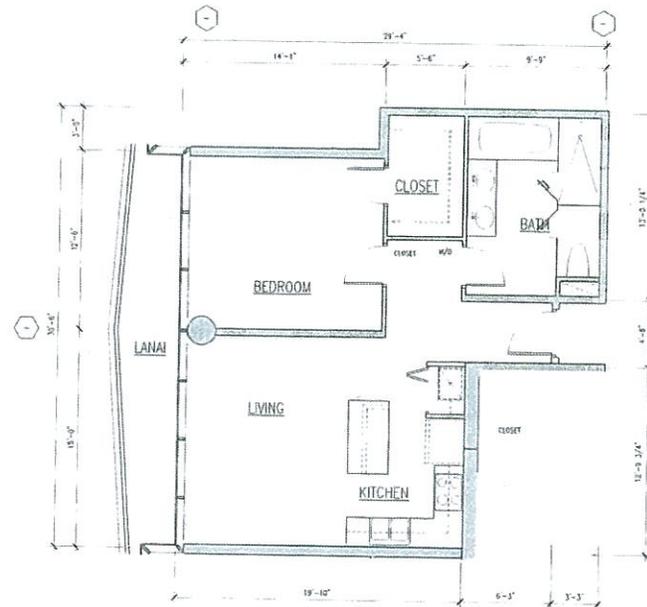
DATE: 2016 DECEMBER 16
 PROJECT #: 16009

SHEET CONTENT:
 HOTEL GUEST ROOM UNIT PLAN P-S

SHEET NO:
 A2-23



2 CONDO UNIT PLAN - TYPE B - 1BR
 1/4" = 1'-0"
 FLOOR AREA 764.00 S.F.



3 CONDO UNIT PLAN - TYPE C - 1BR
 1/4" = 1'-0"
 FLOOR AREA 719.00 S.F.

EXHIBIT B-27
 2017/SDD-11



ARCHITECT
 THE REVIEW PROVIDED BY THE
 OFFICIALS IS LIMITED TO THE
 CONFORMANCE OF THE PROJECT
 WITH THE CITY ORDINANCES.

ALL CONSTRUCTION SHALL OBTAIN
 NECESSARY PERMITS AND SHALL
 BE COMPLETED WITHIN THE
 SPECIFIED TIME FRAME.

CALIFORNIA
 INVESTMENT
 REGIONAL
 CENTER LLC

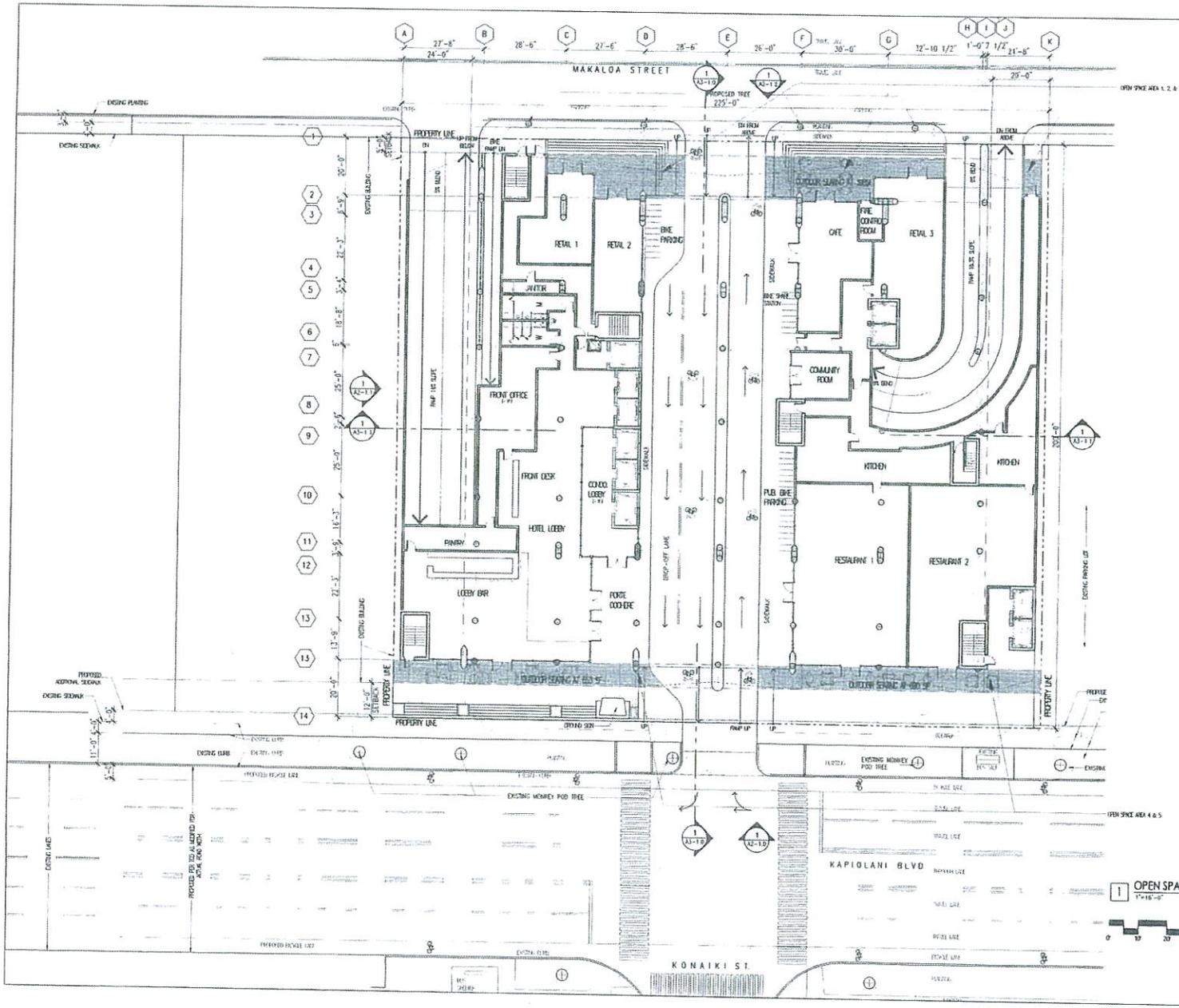
Hawaii Ocean Plaza
 Honolulu, Hawaii
 T.M.K. 2-3-016: 018 / 019 / 020

INTERIM PLANNED
 DEVELOPMENT
 FEASIBILITY STUDY

DATE 2016 DECEMBER 16
 PROJECT # 16009

SHEET CONTENT
 CONDO UNIT PLAN
 A, B, & C

SHEET NO
 A2-3.1



OPEN SPACE AREA

- 571.00 SF OPEN SPACE AREA 1
- 723.00 SF OPEN SPACE AREA 2
- 72.00 SF OPEN SPACE AREA 3
- 723.00 SF OPEN SPACE AREA 4
- 781.00 SF OPEN SPACE AREA 5
- 2,870.00 SF OPEN SPACE AREA

LEGEND

OPEN SPACE AREA

EXHIBIT B-31 2017/SDD-11

1 OPEN SPACE CALCULATION - LEVEL 1
1"=10'-0"



ARCHITECT:
THE ARCHITECTS FIRM OF HONOLULU
1005 KALANANAKU AVENUE, SUITE 1000
HONOLULU, HAWAII 96813

NOTES: CONTRACTOR SHALL VERIFY
AND VERIFY ALL DIMENSIONS OF
EXISTING CONDITIONS ON SITE.

**CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC**

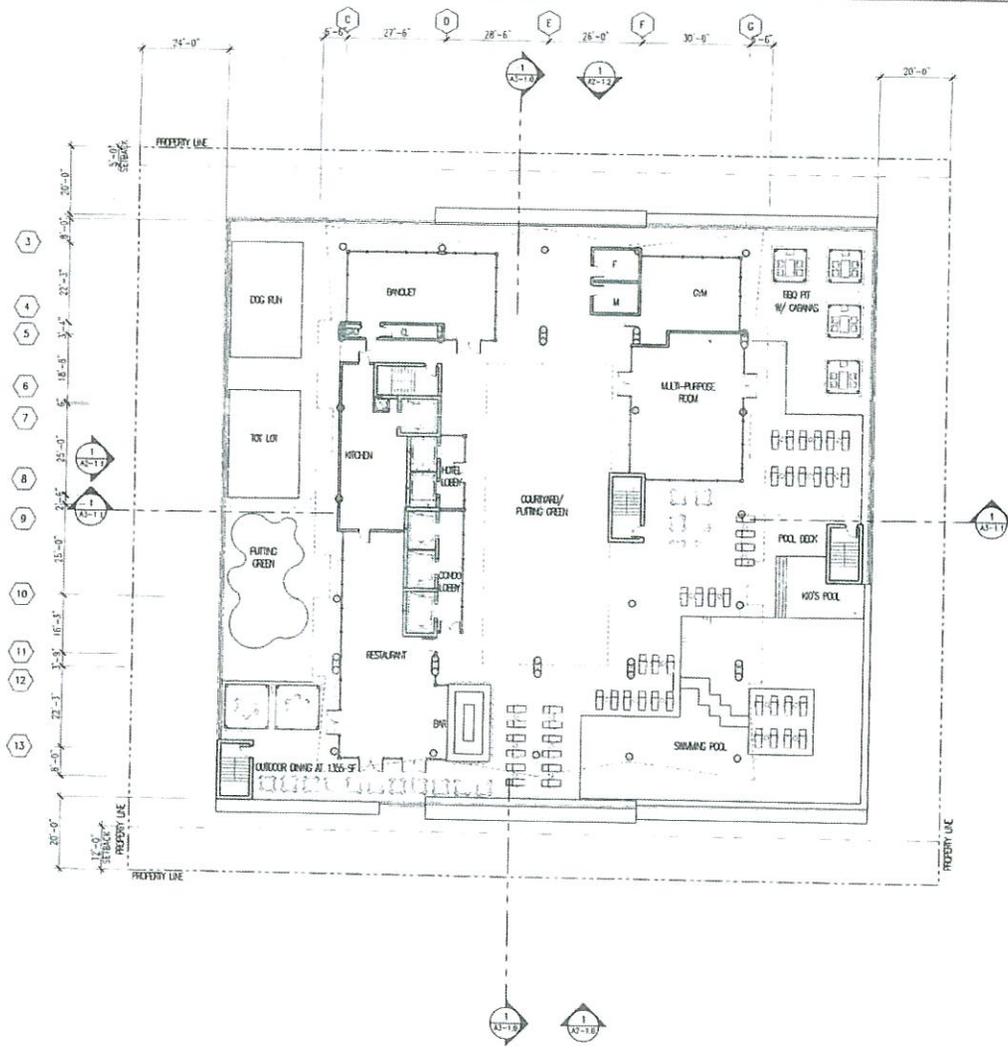
**Hawaii Ocean Plaza
Honolulu, Hawaii**
TASK 2-3-016-018/019/020

**INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY**

**DATE: 2016 DECEMBER 16
PROJECT # 16009**

**SHEET CONTENT
OPEN SPACE
CALCULATIONS/
DIAGRAM**

**SHEET NO.
A4-1.0**



PARK DEDICATION AREA
 28,734.00 SF TOWER FOOTPRINT BELOW
 -16,688.00 SF COVERED AREA
 -328.00 SF FIRE STAIRS
 11,718.00 SF PARK DEDICATION AREA



EXHIBIT B-32 2017/SDD-11

1 PARK DEDICATION AREA - LEVEL 8
 1"=40'-0"



ARCHITECT
 THE WORK WAS PROVIDED BY THE
 CLIENT UNDER A PROFESSIONAL
 CONSULTING AGREEMENT.
 WILL BE FOR INFORMATION.

CALIFORNIA
 INVESTMENT
 REGIONAL
 CENTER LLC

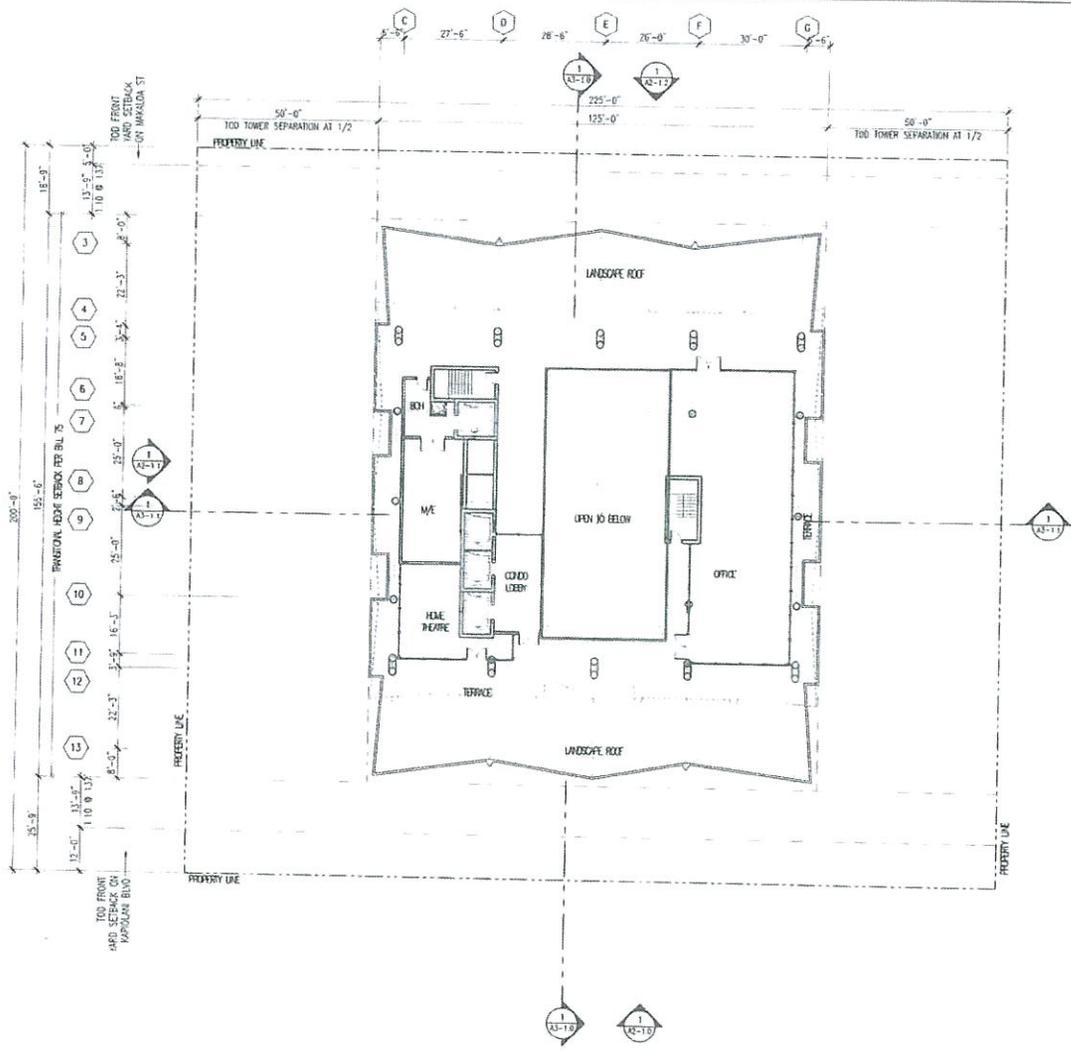
Hawaii Ocean Plaza
 Honolulu, Hawaii
 TM# 2-3-016-018 / 019 / 020

INTERIM PLANNED
 DEVELOPMENT
 FEASIBILITY STUDY

DATE 2016 DECEMBER 16
 PROJECT # 16009

SHEET CONTENT:
 PARK DEDICATION
 LEVEL 8

SHEET NO.
 AS-1.0



PARK DEDICATION AREA
 17,309.00 SF TOWER FOOTPRINT BELOW
 -13,170.00 SF COVERED AREA
 4,219.00 SF PARK DEDICATION AREA

PARK DEDICATION TOTAL AREA
 11,716.00 SF LEVEL 08
 4,219.00 SF LEVEL 17
 15,937.00 SF PARK DEDICATION TOTAL AREA

LEGEND
 PARK DEDICATION AREA

EXHIBIT B-33
2017/SDD-11

1 PARK DEDICATION AREA - LEVEL 17
 1"=16'-0"



ARCHITECT
 THE WORKS SHOWN PROVIDED BY THE
 CLIENT AND THE ARCHITECT HAS
 CONDUCTED VISUAL AND
 WALK-THROUGH VERIFICATION

THE CONTRACTOR SHALL OBTAIN
 PERMITS FOR ALL NECESSARY
 BEFORE PROCEEDING WITH WORK

CALIFORNIA
 INVESTMENT
 CENTER LLC

Hawaii Ocean Plaza
 Honolulu, Hawaii
 TMX 2-3-016-018/019/020

INTERIM PLANNED
 DEVELOPMENT
 FEASIBILITY STUDY

DATE 2016 DECEMBER 16
 PROJECT # 16009

SHEET CONTENT
 PARK DEDICATION
 LEVEL 17

SHEET NO.
A5-1.1

GROUND FLOOR TREE & PALM PLANT LIST

NO.	COMMON NAME	SCIENTIFIC NAME	AMT.	SIZE	NOTES
1	Monkeypod (Existing)		5		refer to landscape notes
2	Autograph Tree	<i>Clusia major</i>	16	45 g.c.	Min. 6' trk. ht. 4" Cal.

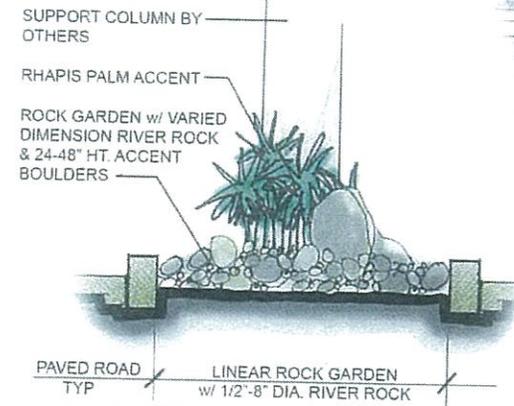


MAP KEY:

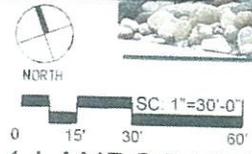
- RAMP ENTRY TO UPPER AND LOWER PARKING
- STREET PARKING PAVED ACCESS
- AUTOGRAPH TREE w/ FLOWERING TIARE GARDENIA HEDGE BENEATH.
- NATURAL TONE QUARTZITE STONE
- OUTDOOR SEATING w/ SHADE UMBRELLA
- LINEAR STONE GARDEN w/ 1/2"-8" DIAMETER RIVER ROCK w/ ACCENT BOULDERS & RHAPIS PALMS @ COLUMNS. SEE: L-1, SEC 'A'
- DESIGNED PAVING FOR PRIVATE ROAD - TYP.
- COBBLE STONE DROP-OFF ZONE
- SIGN TO BE DETERMINED BY OTHERS
- OUTDOOR LEISURE/ BAR SEATING
- AUTOGRAPH TREE IN ACCENT PLANTER & STEP UP TO SEATING AREA SEE: L-3, SEC 'A'
- EXISTING SIDEWALK & GREENSCAPE BUFFER TO ROAD
- EXISTING MONKEYPOD TREES TO REMAIN - TYP (SEE LANDSCAPE NOTES.
- EXISTING BUS STOP w/ TYP QUARTZITE PAVING
- RESTAURANT OVERFLOW SEATING
- ACCENT LOGO TBD BY OTHERS
- HOTEL & RESTAURANT TOWERS
- ACCENT TRELLIS & PROPERTY GREEN BUFFER SEE: L-2, SEC 'A'

LANDSCAPE NOTES:

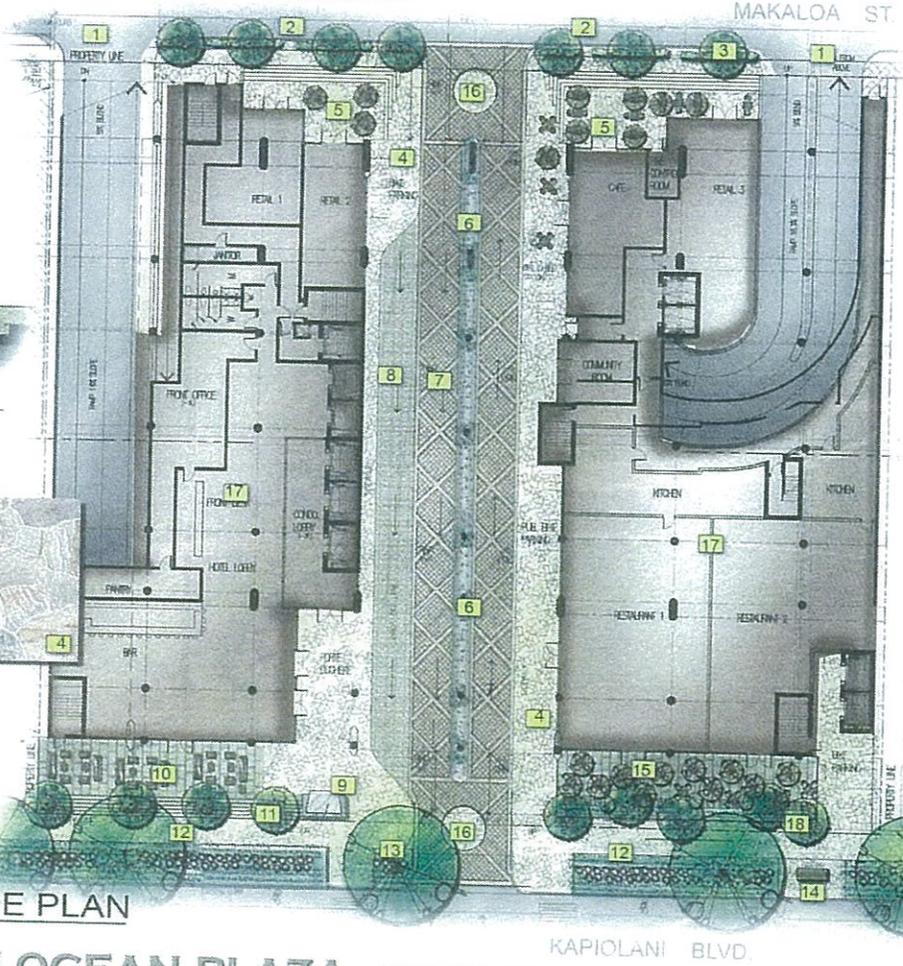
- PROJECT TOTAL LANDSCAPE SQUARE FT
 GROUND LEVEL 2100 S.F.
 LEVEL 8 4980 S.F.
 LEVEL 17 2200 S.F.
TOTAL: 9280 S.F.
- HEALTH OF EXISTING MONKEYPOD TREES TO BE VERIFIED BY CERTIFIED ARBORIST PRIOR TO USE OF MONKEYPODS AS DESIGNED.



A.TYP SEC: PRIVATE ROAD MEDIAN
SC: NTS

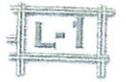


1.LANDSCAPE SITE & TREE PLAN



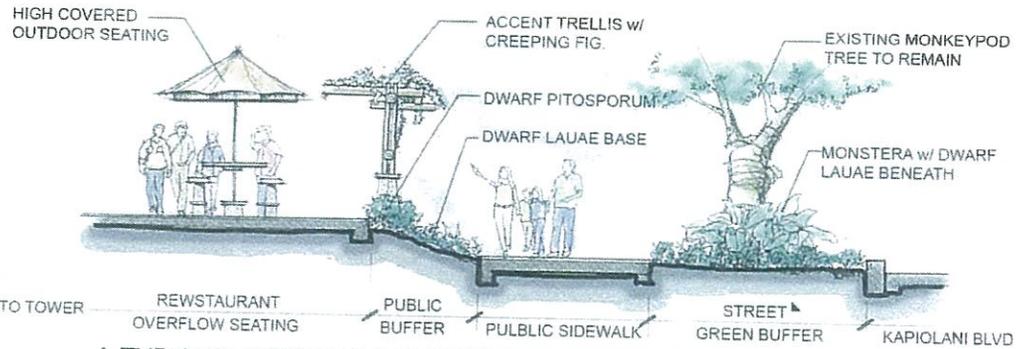
HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
 1362 KAPIOLANI BLVD. HONOLULU, HI 96814

EXHIBIT C-1
2017/SDD-11



GROUND FLOOR GROUNDCOVER & SHRUB LIST

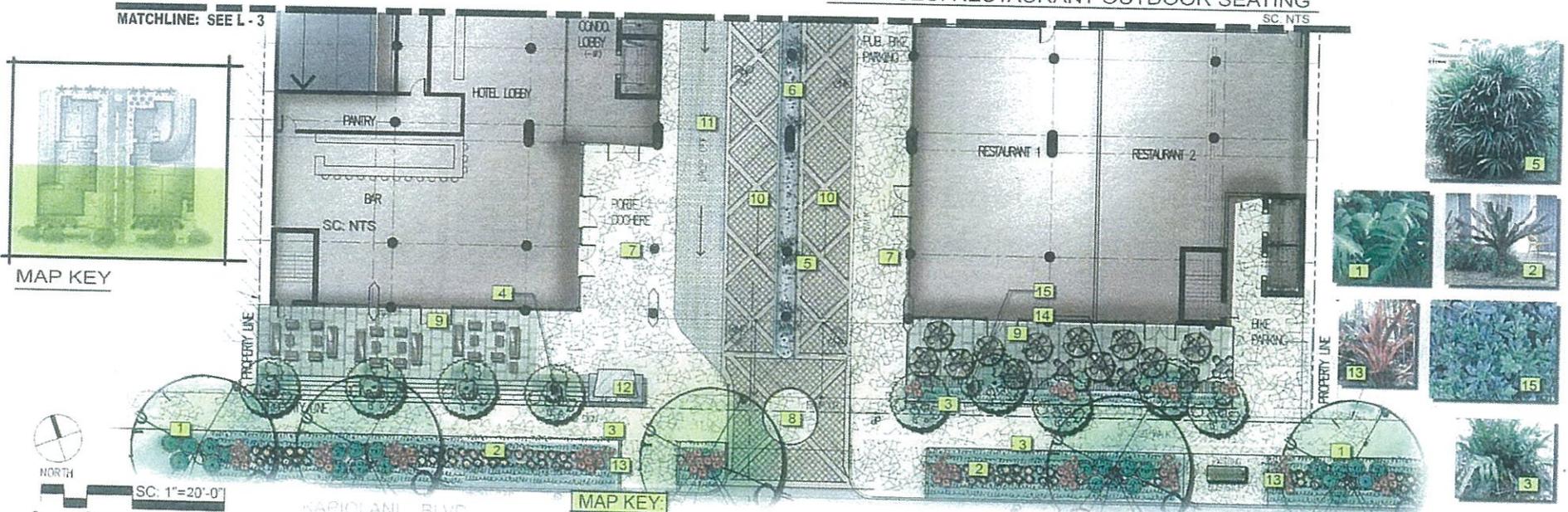
NO.	COMMON NAME	SCIENTIFIC NAME	AMT	SIZE	NOTES
1	Monstera	<i>Monstera deliciosa</i>	30	5 g.c. ea.	clustered
2	Dwarf Lauae Fern	<i>Phymalosorus grossus</i>	650	4" pots	s.f. @ 16" o.c. staggered
3	Dwarf Pittosporum	<i>Pittosporum tobira 'Nana'</i>	20	3 g.c. ea.	@ 12" o.c. clustered
4	Red 'Lilinoe' Ti	<i>Cordyline fruticosa</i>	55	3 g.c. ea.	@ 12" o.c. clustered
5	Queen Emma Spider Lily	<i>Crinum augustum</i>	115	3 g.c. ea.	@ 24" o.c. staggered
6	Rhapis	<i>Rhapis excelsa</i>	32	5 g.c. ea.	4 @ ea. column
7	Creeping Fig	<i>Ficus pumila</i>	22	5 g.c. ea.	trained up trellis



LANDSCAPE NOTES:

1. PLANT MATERIALS ARE COUNTED AND LISTED ONCE ONLY FOR THIS LEVEL. SEE L-3. FOR FULL QUANTITY COUNT OF PLANTS NOT LISTED IN ABOVE LIST

A.TYP SEC: RESTAURANT OUTDOOR SEATING



MAP KEY

MAP KEY:

- 1. MONSTERA ACCENTS @ BASE
- 2. QUEEN EMMA SPIDER LILY
- 3. DWARF LAUAE
- 4. PLANTER SEE: L-3, SEC 'A'
- 5. ACCENT RHAPIS PALM & COLUMNS
- 6. STONE GARDEN w/ 1/2"-8" DIAMETER RIVER ROCK SEE: L-1, SEC 'A'
- 7. QUARTZITE STONE PAVING - TYP. FOR PROPERTY SIDEWALK
- 8. ACCENT ENTRY COMPANY DESIGN
- 9. LARGE RECTANGULAR CUT PAVERS
- 10. PRIVATE ROAD w/ ACCENT DESIGN
- 11. COBBLE STONE DROP-OFF ZONE
- 12. SIGN TBD BY OTHERS.
- 13. ACCENT RED TI.
- 14. TRELLIS ACCENT. SEE: SEC 'A'
- 15. DWARF PITOSPORUM SHRUB

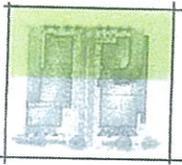
1. STREET LEVEL GROUNDCOVER & SHRUB PLAN



HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
 1362 KAPIOLANI BLVD. HONOLULU, HI 96814

EXHIBIT C-2
 2017/SDD-11





MAP KEY

GROUND FLOOR GROUNDCOVER & SHRUB LIST

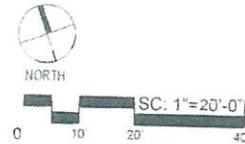
NO.	COMMON NAME	SCIENTIFIC NAME	AMT.	SIZE	NOTES
1	Tiare Gardenia Hedge	<i>Gardenia taitensis</i>	60	3 g.c.	ea. @ 30' o.c.

LANDSCAPE NOTES:

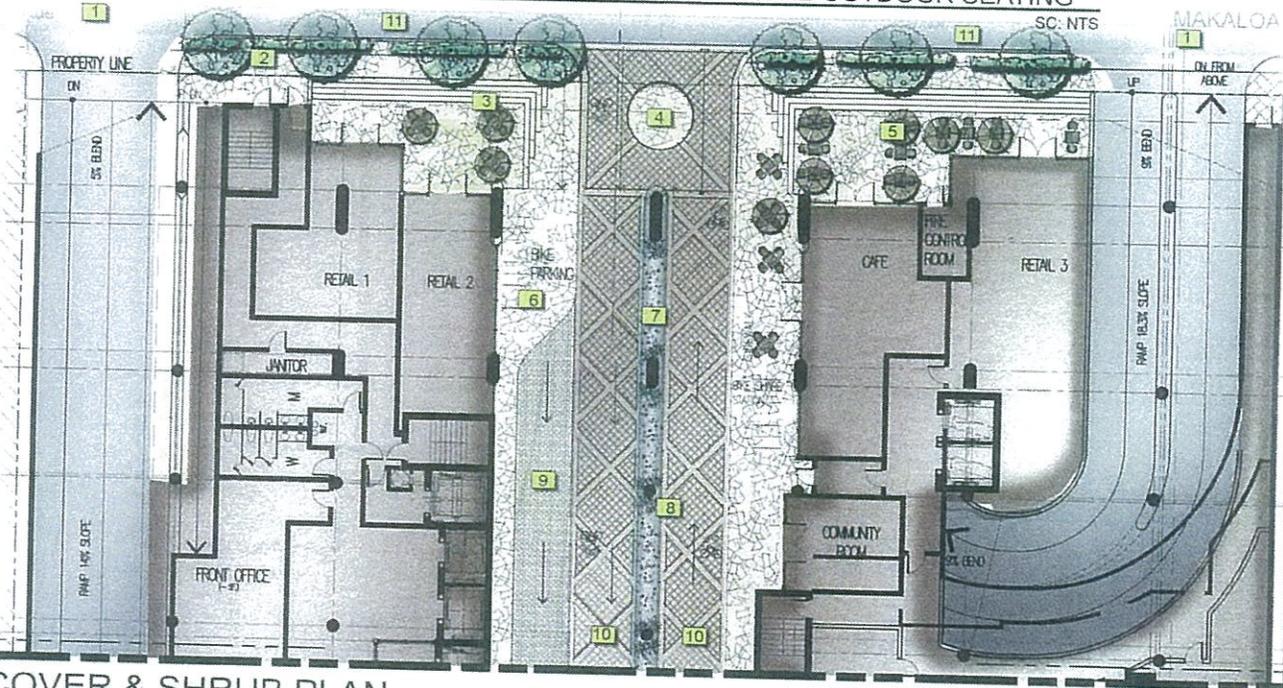
1. PLANT MATERIALS ARE COUNTED AND LISTED ONCE ONLY FOR THIS LEVEL. SEE L-2, FOR FULL QUANTITY COUNT OF PLANTS NOT LISTED IN ABOVE LIST.

MAP KEY

1. RAMP ENTRY TO UPPER AND LOWER PARKING
2. TIARE GARDENIA HEDGE TO BUFFER STREET FROM PROPERTY SIDEWALK
3. OUTDOOR SEATING
4. ACCENT LOGO TBD BY OTHERS - TYP.
5. OUTDOOR CAFE w SHADE UMBRELLA
6. QUARTZITE PAVING - TYP. OF COMMON SIDEWALK FOR PROPERTY
7. STONE GARDEN w/ 1/2"-8" DIAMETER RIVER ROCK SEE: L-1, SEC 'A'
8. RHAPIS PALM TO SOFTEN COLUMNS
9. COBBLE STONE DROP-OFF ZONE
10. DESIGNED PAVING FOR PRIVATE ROAD - TYP.
11. TYP. QUARTZITE PAVED ACCESS FOR STREET PARKING



1. STREET LEVEL GROUNDCOVER & SHRUB PLAN



MATCHLINE: SEE L-2

AUTOGRAPH TREE w/ DWARF PITTISPORUM @ BASE.

OUTDOOR FURNISHING TBD BY OTHERS - TYP.

EXISTING MONKEYPOD TREE TO REMAIN

QUEEN EMMA SPIDER LILY w/ DWARF LAUAE BENEATH



A.TYP SEC: WEST LEISURE OUTDOOR SEATING

SC: NTS

MAKALOA ST



HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
 1362 KAPIOLANI BLVD. HONOLULU, HI 96814

EXHIBIT C-3
 2017/SDD-11



IRRIGATION LEGEND:

1. ALL IRRIGATION TO USE RAINBIRD xfs DRIP SYSTEM WITH TYP. LAYOUT.

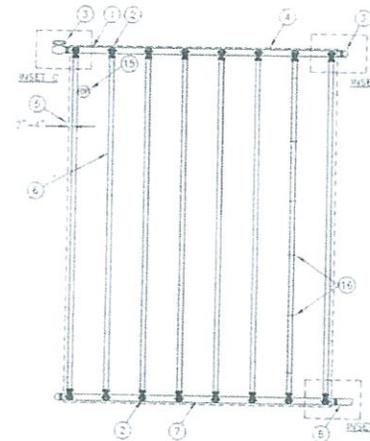
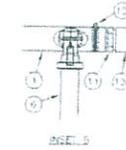
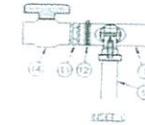
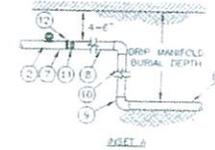
-  TURF AREAS: 12" x 12" 0.6 GPH
-  SHRUB/ GROUNDCOVER: 12" x 18" 0.6 GPH

GROUND LEVEL : FLOW REQUIREMENTS

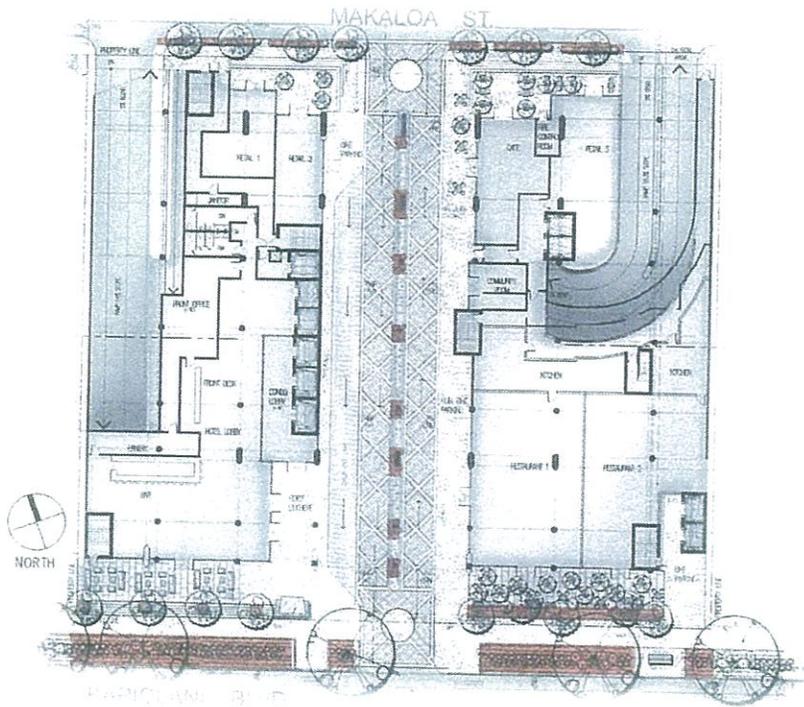
Permit No. _____ Meter No. _____

IRRIGATION USAGE ONLY - NO CHANGE IN DOMESTIC USE

	FIXTURE UNITS (FU)	GALLONS PER MINUTE (GPM)	GALLONS PER DAY (GPD)
A. PROPOSED IRRIGATION	20	12	450
B. TO BE REMOVED (DEMOLITION)	0	0	0
C. TOTAL NET (A-B)	20	12	450
D. EXISTING TO REMAIN	0	0	0
E. GRAND TOTAL (C + D)	20	12	450



- 1) 1/2" FLUSH HEADER
- 2) PRE-INSTALLED BARB FITTING
- 3) FLUSH PORT WITH 1/2" CAP OR OPTIONAL PVC BALL VALVE
- 4) PERIMETER OF AREA
- 5) PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 6) RAIN BIRD XFS SERIES DRIPLINE (TYPICAL)
- 7) 1/2" SUPPLY HEADER
- 8) PVC DRIPLINE MANIFOLD FROM RAIN BIRD CONTROL 20% VALVE HT (SIZED TO MEET LATERAL FLOW DEMAND)
- 9) PVC SCH 40 ELL (TYPICAL)
- 10) PVC SCH 40 PRESS PIPE
- 11) MALE ADAPTER INSERT
- 12) STAINLESS STEEL OETIKER OR MURRAY CLAMP
- 13) PVC SCH 40 CAP
- 14) PVC SCH 40 BALL VALVE
- 15) OPERATIONAL INDICATOR RAIN BIRD MODEL OPERRID
- 16) XFS SERIES RE-DOWN STAKES (TUS-C50) REFER TO RAIN BIRD DRIPLINE DESIGN GUIDE FOR PROPER SPACING



NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.

XFS Dripline Maximum Lateral Lengths (Feet)

Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)					
15	0.6	0.9	0.6	0.9	0.6	0.9
20	273	155	314	250	424	322
30	318	165	353	284	505	365
40	360	230	413	350	586	414
50	395	255	465	402	657	474
60	417	285	528	420	730	485
80	460	330	595	455	780	514

XFS SUB-SURFACE DRIPLINE
 END FEED LAYOUT OF HEADER

63-31-2015
 N.T.S.

1. GROUND LEVEL DRIP IRRIGATION LAYOUT  SC. 1"=40'-0"

GROUND FLOOR TREE & PALM PLANT LIST

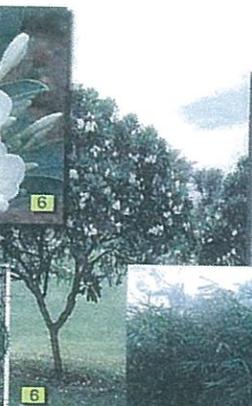
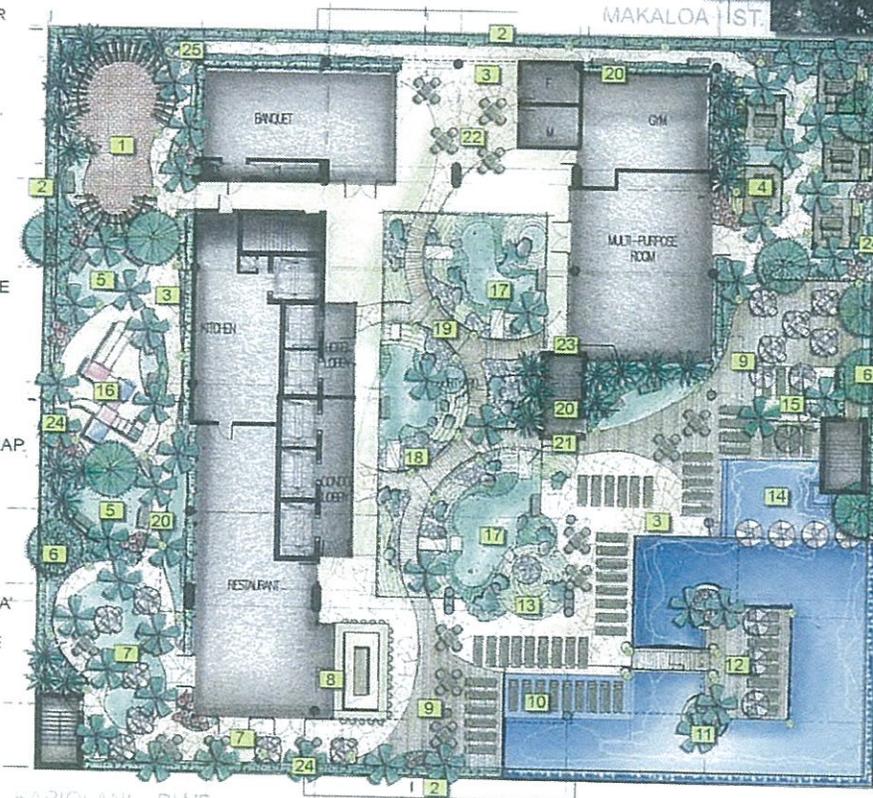
NO.	COMMON NAME	SCIENTIFIC NAME	AMT.	SIZE	NOTES
1	Manila Palm	<i>Adonidia merrillii</i>	44	f.s.	Min. 6' trk. ht. 6" Cal.
2	Singapore Plumeria	<i>Plumeria obtusa</i>	9	f.s.	Min. 6' trk. ht. 6" Cal.
3	Buddha's Belly Bamboo	<i>Bambusa ventricosa</i>	36	25 g.c.	Min. 6' ht., clustered

LANDSCAPE NOTES:

- ARTIFICIAL TURF TO BE USED FOR GRASS APPLICATION WITHIN FOOTPRINT OF TOWER ONLY. ALL ELSE TO BE NATURAL - SEE L-6

MAP KEY:

- SHADE TRELLIS & DEDICATED DOG RUN.
- 24" RAISED PLANTER BED w/ TIARE GARDENIA HEDGE - TYP. @ BLDG EDGE SEE: SEC. 'A'
- NATURAL COLOR QUARTZITE PAVING
- BBQ CABANA w/ STRETCHED CANVAS ROOF
- GRASS LAWN - TYP. ONLY OUTSIDE OF TOWER FOOTPRINT
- SINGAPORE PLUMERIA FLOWERING TREE
- RESTAURANT OVERFLOW SEATING
- POOL BAR
- HARDWOOD DECKING - TYP.
- WET CHAISE LOUNGE w/ SOUTH VIEW
- RAISED PLANTER BED. SEE: L-6, SEC 'A'
- HARDWOOD ISLAND w/ CHAISE LOUNGE & BRIDGE CONNECTION SEE: L-6, SEC 'A'
- CIRCULAR RAKED DECORATIVE SAND TRAP
- KIDS POOL w/ SPLASH SHOWER
- FAMILY SAND LOT
- CHILDRENS TOT LOT
- ARTIFICIAL TURF PUTTING GREEN - TYP.
- ACCENT ROCK GARDEN w/ VARYING DIA. PEBBLE AND LARGE ACCENT BOULDER SEE: L-7, SEC. 'A'
- WOOD PATHWAY BRIDGE. SEE: L-7, SEC. 'A'
- REST BENCH
- STAINED & STONE TEXTURED CONCRETE STEPPING STONE
- DESIGNATED NORTH REST AREA
- BUDDAH'S BELLY BAMBOO
- MANILA PALM
- SIGNATURE LIGHT FIXTURE SEE: L-7, SEC 'A'



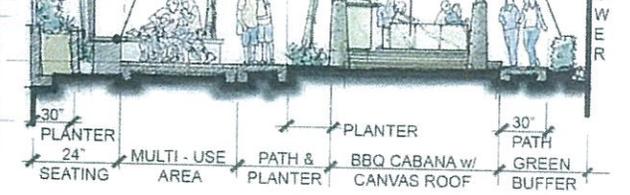
MANILA PALM - TYP

SHADE TRELLIS & SEATING AREA

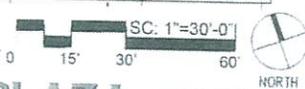
BLDG EDGE RAIL BY OTHERS

SEATING w/ OPTIONS TO VARY

GARDENIA HEDGE w/ MONDO GRASS @ FRONT & RIVER ROCK MOISTURE BARRIER AGAINST TOWER - TYP.



1.LEVEL 8 HARDSCAPE & TREE PLAN



A.TYP SEC: CABANAS & TRELLIS

SC: NTS



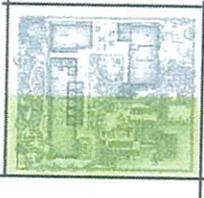
HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
 1362 KAPIOLANI BLVD. HONOLULU, HI 96814

EXHIBIT C-5
 2017/SDD-11



LEVEL 8: GROUNDCOVER & SHRUB LIST

NO.	COMMON NAME	SCIENTIFIC NAME	AMT.	SIZE	NOTES
1	Red 'Kimi' Ginger	<i>Alpinia purpurata</i>	110	3 g.c.	ea. @ 30" o.c., staggered
2	Red 'Lilinoe' Ti	<i>Cordyline fruticosa</i>	36	3 g.c.	ea. @ 12" o.c., clustered
3	Queen Emma Spider Lily	<i>Crinum augustum</i>	64	3 g.c.	ea. @ 24" o.c., staggered
4	Yellow Daylily	<i>Hemerocallis 'Hyperion'</i>	40	1 g.c.	ea. @ 8" o.c., clustered
5	Tiare Gardenia Hedge	<i>Gardenia taitensis</i>	240	3 g.c.	ea. @ 30" o.c.,
6	St. Augustine grass	<i>Stenotaphrum Secundatum</i>	1730		s.f., sod
7	Dwarf Lauae Fern	<i>Phymatosorus grossus</i>	580	4" pols	ea., @ 18" o.c., staggered
8	Dwarf Japanese Juniper	<i>Juniperus procumbens 'Nana'</i>	46	5 g.c.	ea. @ 24" o.c., clustered
9	Mondo Grass	<i>Ophiopogon Japonicus</i>	120	Sprigs	s.f., 3" o.c., staggered

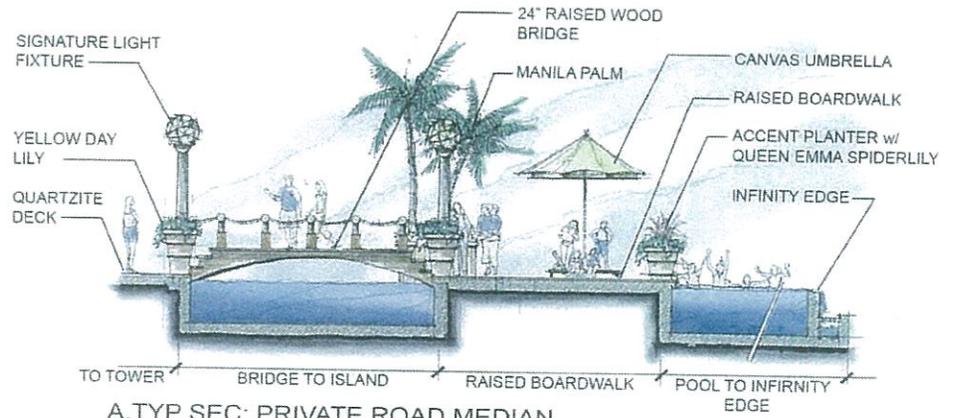
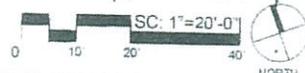
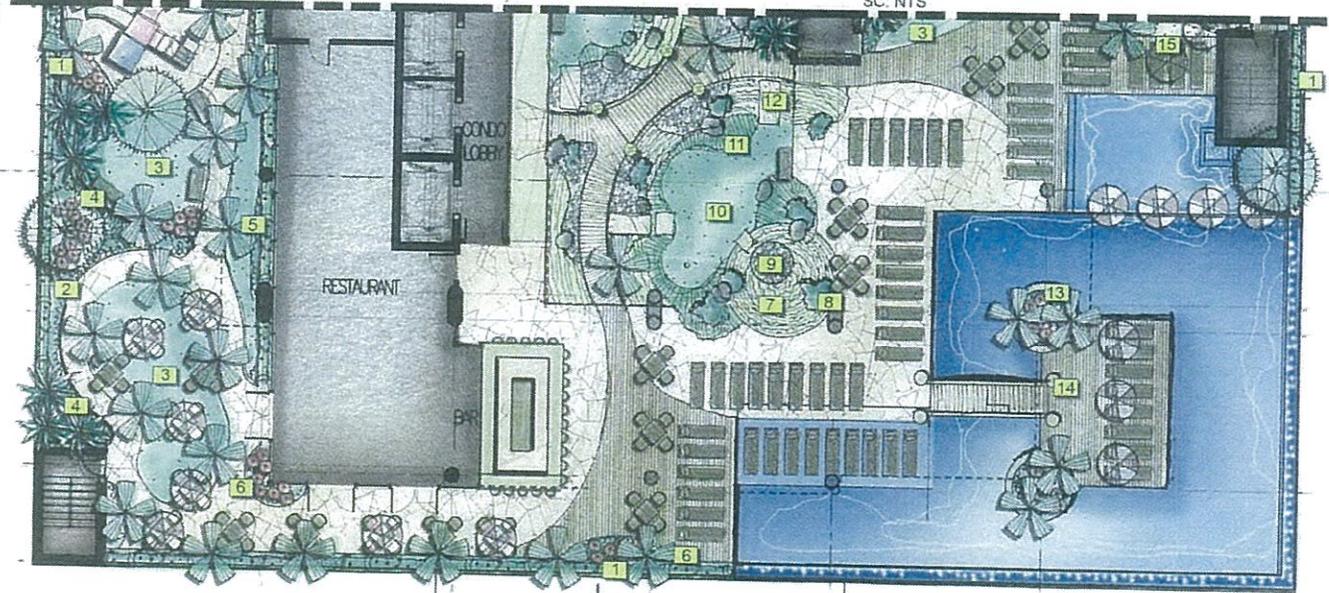


MAP KEY:

1. TIARE GARDENIA HEDGE - TYP. @ RAISED PERIMETER PLANTER & BLDG. EDGE TO SOFTEN RAILING
2. DWARF LAUAE FERN
3. ST. AUGUSTINE GRASS
4. 24" HT. PERIMETER PLANTER w/ MIN. 30" WIDTH BUT TO MEANDER TO HELP DEFINE SPACE & FUNCTION
5. TIARE GARDENIA HEDGE - TYP. @ BASE OF TOWER w/ MONDO GRASS AT BASE & MOISTURE RIVER ROCK BASE FACING TOWER. SEE: L-5, SEC 'A'
6. RED GINGER & QUEEN EMMA SPIDER LILY - TYP.
7. COARSE SAND GRANULARS TO CREATE CIRCLE PATTERN
8. DWARF JAPANESE JUNIPER 'NANA' - TYP.
9. 1/2"-8" VARYING RIVER ROCK BED w/ LARGE ACCENT LAVA BOULDERS - TYP.
10. ARTIFICIAL TURF PUTTING GREEN - TBD BY OTHERS
11. COARSE ARTIFICIAL TURF FOR 'RUFF'
12. STAINED, STONE TEXTURED CONCRETE STEPPING STONE w 30" TYP. WIDTH BY VARYING LENGTHS.
13. ASSORTED RED GINGERS TO FEATURE AGAINST LARGE COLUMNS w/ DWARF LAUAE @ BASE
14. YELLOW DAY LILY ACCENTS IN PLANTER BASE TO SOFTEN POSTS FOR FEATURED LIGHTS SEE: SEC 'A'
15. KIDS POOL DECK

1. LEVEL 8 GROUNDCOVER & SHRUB PLAN

MATCHLINE: SEE L - 7



A.TYP SEC: PRIVATE ROAD MEDIAN.

SC. NTS



HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
 1362 KAPIOLANI BLVD. HONOLULU, HI 96814

KAPIOLANI BLVD

EXHIBIT C-6
 2017/SDD-11



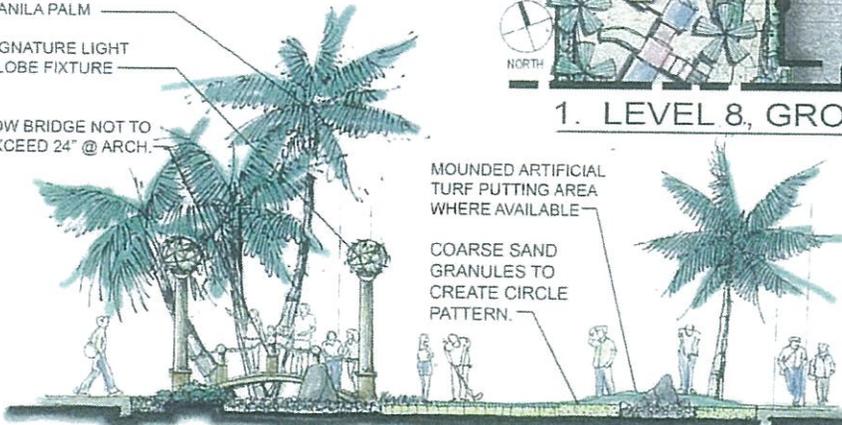
MAP KEY:

1. TIARE GARDENIA HEDGE - TYP @ RAISED PERIMETER PLANTER & BLDG. EDGE TO SOFTEN RAILING
2. TIARE GARDENIA HEDGE - TYP @ BASE OF TOWER w/ MONDO GRASS AT BASE & MOISTURE RIVER ROCK BASE FACING TOWER. SEE: L-5, SEC 'A'
3. RED GINGER & QUEEN EMMA SPIDER LILY - TYP.
4. DWARF LAUAE FERN
5. ARTIFICIAL TURF PUTTING GREEN - TBD B
6. 1/2"-8" VARYING RIVER ROCK BED w/ LARGE ACCENT LAVA BOULDERS
7. STAINED, STONE TEXTURED CONCRETE STEPPING STONE w 30" TYP. WIDTH BY VARYING LENGTHS.
8. COARSE SAND GRANULES TO CREATE CIRCLE PATTERN
9. DWARF JAPANESE JUNIPER 'NANA' - TYP.
10. ST. AUGUSTINE GRASS
11. FAMILY SAND PIT & REST AREA
12. RESTING BENCH
13. TOT LOT
14. NATURAL COLOR QUARTZITE
15. DOG RUN w/ POROUS STONE DECK
16. SHADE TRELLIS SEATING AREA/ MUTLI-USE AREA
17. KIDS POOL DECK
18. KIDS POOL DECK
19. HARDWOOD FAMILY DECK

MANILA PALM

SIGNATURE LIGHT GLOBE FIXTURE

LOW BRIDGE NOT TO EXCEED 24" @ ARCH.



MOUNDED ARTIFICIAL TURF PUTTING AREA WHERE AVAILABLE

COARSE SAND GRANULES TO CREATE CIRCLE PATTERN.

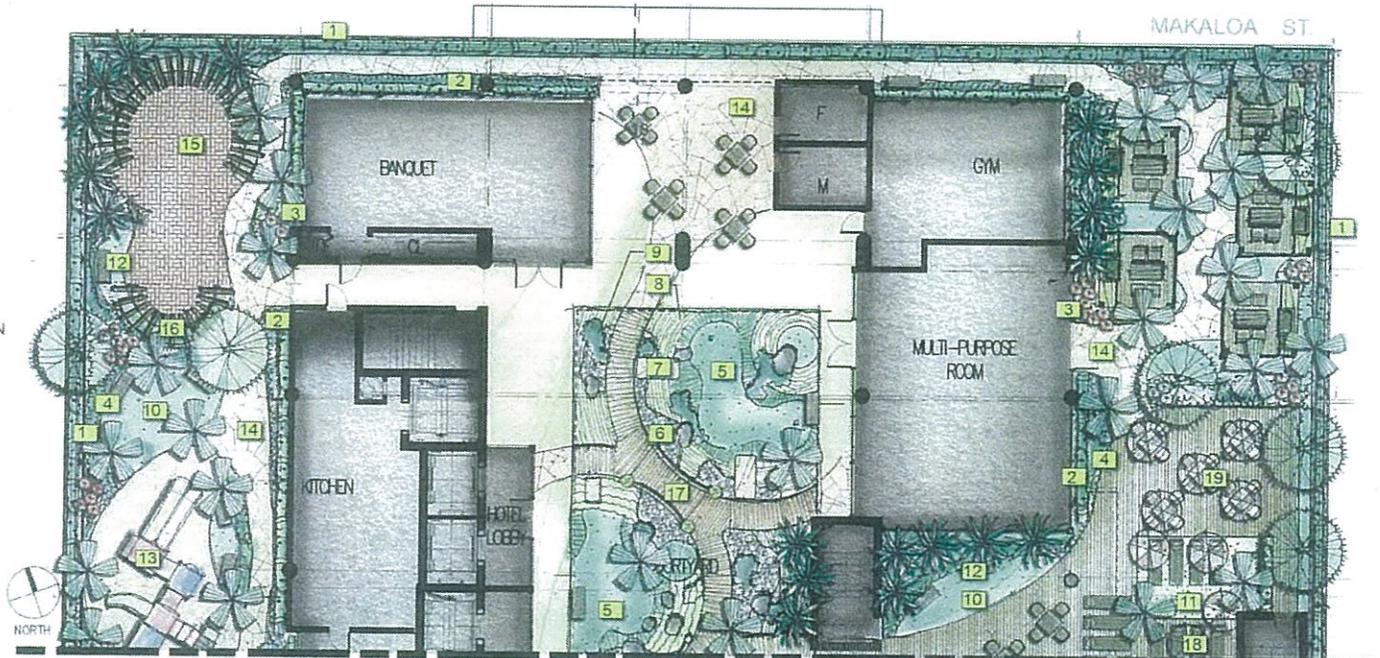
LOW WOOD GARDEN BRIDGE ZEN GARDEN/ PUTTING GREEN
A. TYP SEC: ZEN GARDEN/ PUTTING GREEN

SC. NTS

1. LEVEL 8, GROUNDCOVER & SHRUB PLAN

SC: 1"=20'-0"

MATCHLINE: SEE L-6



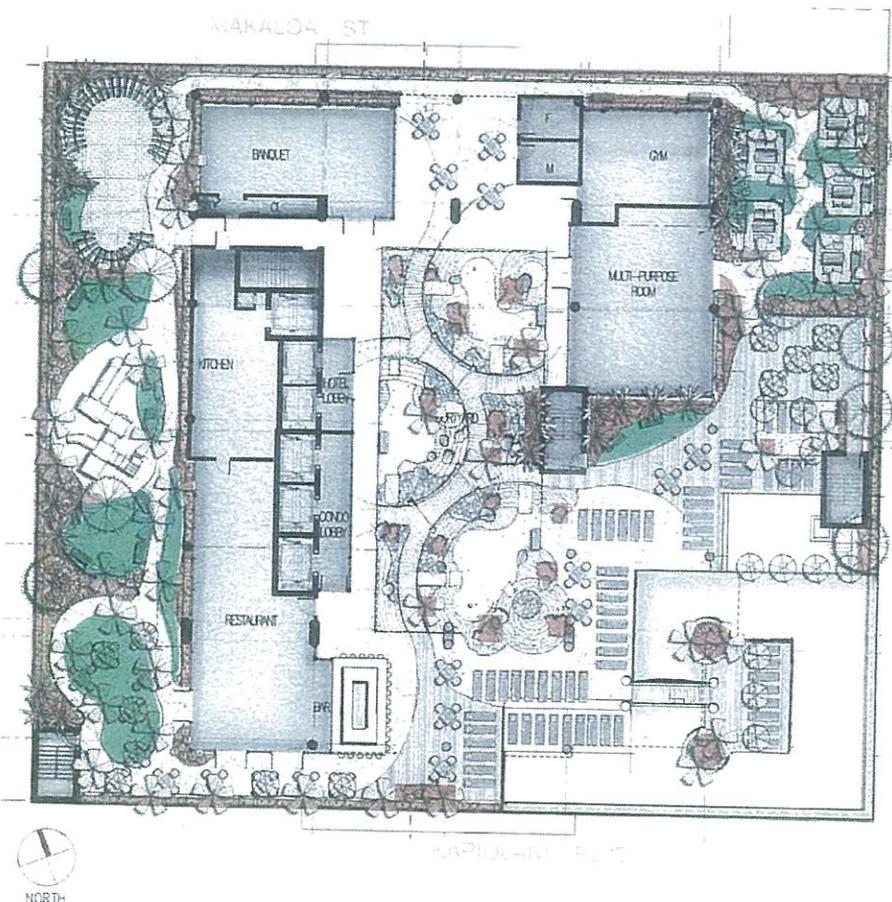
MAP KEY:



HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
 1362 KAPIOLANI BLVD. HONOLULU, HI 96814

EXHIBIT C-7
 2017/SDD-11





IRRIGATION LEGEND:

1. ALL IRRIGATION NEEDS TO USE RAINBIRD xfs DRIP SYSTEM WITH TYP. LAYOUT:

- TURF AREAS: 12" x 12" 0.6 GPH
- SHRUB/ GROUNDCOVER: 12" x 18" 0.6 GPH

- 2. REFER TO L-4 FOR TYP. DRIP DETAILS
- 3. PUTTING GREEN WITHIN FOOTPRINT OF TOWER TO USE ARTIFICIAL TURF w/ NO IRRIGATION NEED.

8th FLOOR LEVEL : FLOW REQUIREMENTS

Premise No: _____ Meter No: _____

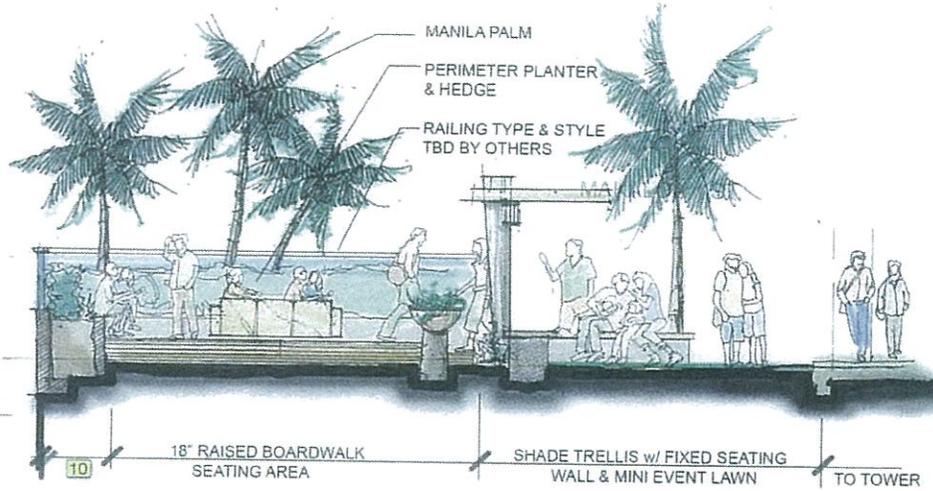
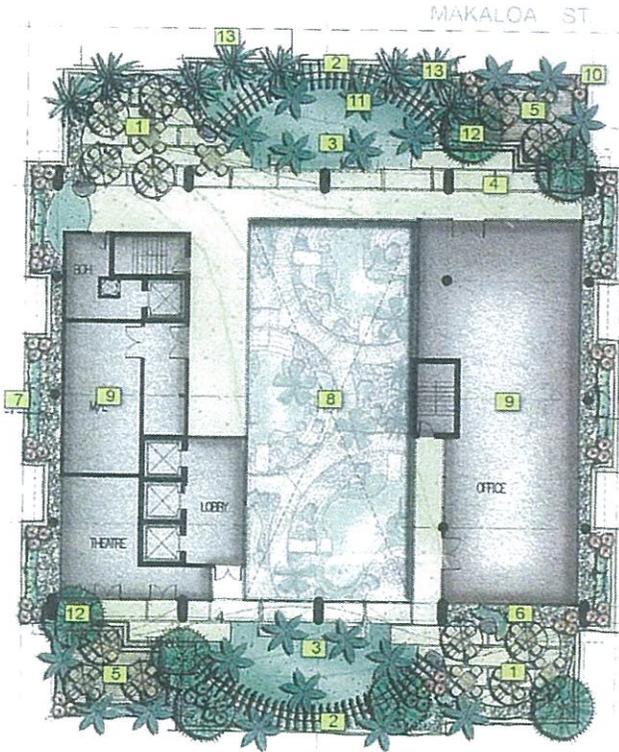
IRRIGATION USAGE ONLY - NO CHANGE IN DOMESTIC USE

	FIXTURE UNITS (FU)	GALLONS PER MINUTE (GPM)	GALLONS PER DAY (GPD)
A. PROPOSED IRRIGATION	22	18	1850
B. TO BE REMOVED (DEMOLITION)	0	0	0
C. TOTAL NET (A - B)	22	18	1850
D. EXISTING TO REMAIN	0	0	0
E. GRAND TOTAL (C + D)	22	18	1850

1. LEVEL 8 DRIP IRRIGATION LAYOUT SC: 1"=30'-0"

LANDSCAPE NOTES:

1. SPACE TO BE OVER PLANTED w/ SIZE & QUANTITY TO GIVE 'GREEN' APPEAL TO A SMALL SPACE
2. WHERE PLANTS ARE ADJACENT TO BUILDING, 24" MIN. PEBBLE ROCK MOISTURE BARRIER IN THE FORM OF A ROCK GARDEN IS TO BE INTRODUCED

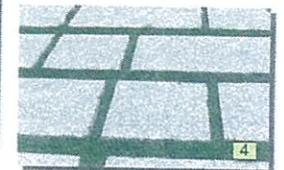
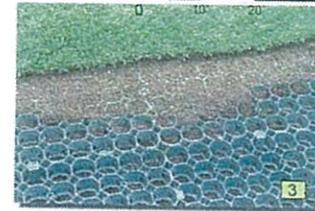


A.TYP SEC: SHADE TRELLIS & RAISED SEATING

SC: NTS

MAP KEY:

1. OVERFLOW w/ TABLE & SEATING OPTIONS TO VARY
2. SHADE TRELLIS & FIXED LOW SEATING WALL. SEE SEC 'A'
3. MINI EVENT LAWN & 'GREEN' OVERFLOW
4. LARGE 36" WIDTH SLABS w LENGTH TO VARY & 4" GRASS OR GRAVEL INLAYS
5. RAISED BOARD SEATING AREA
6. ROCK GARDEN w/ ACCENT PLANT MATERIALS SIMILAR TO ZEN GARDEN BENEATH @ 8TH FLOOR
7. LANDSCAPE TO BUFFER OR ACCENT VIEW BEYOND
8. OPEN ATRIUM TO PUTTING GREEN/ ZEN GARDEN BELOW
9. TYP. TOWER FOOT PRINT
10. RAISED PERIMETER PLANTER - TYP. @ BLDG. EDGE w/ RAIL STYLE TBD BY OTHERS
11. LARGE MANILA PALM
12. SINGAPORE PLUMERIA
13. BUDDHA'S BELLY BAMBOO



17TH LEVEL HARDSCAPE & PALM PLANT LIST

NO.	COMMON NAME	SCIENTIFIC NAME	AMT.	SIZE	NOTES
1	Manila Palm	<i>Adonidia merrillii</i>	20	f.s.	Min. 6' trk. ht. 6" Cal
2	Singapore Plumeria	<i>Plumeria obtusa</i>	7	f.s.	Min. 6' trk. ht 6" Cal.
3	Buddha's Belly Bamboo	<i>Bambusa ventricosa</i>	16	25 g.c.	Min. 6' ht. clustered

1. LEVEL 16 HARDSCAPE & TREE PLAN



HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
 1362 KAPIOLANI BLVD. HONOLULU, HI 96814

EXHIBIT C-9
 2017/SDD-11



17TH LEVEL SHRUB & GROUNDCOVER PLANT LIST

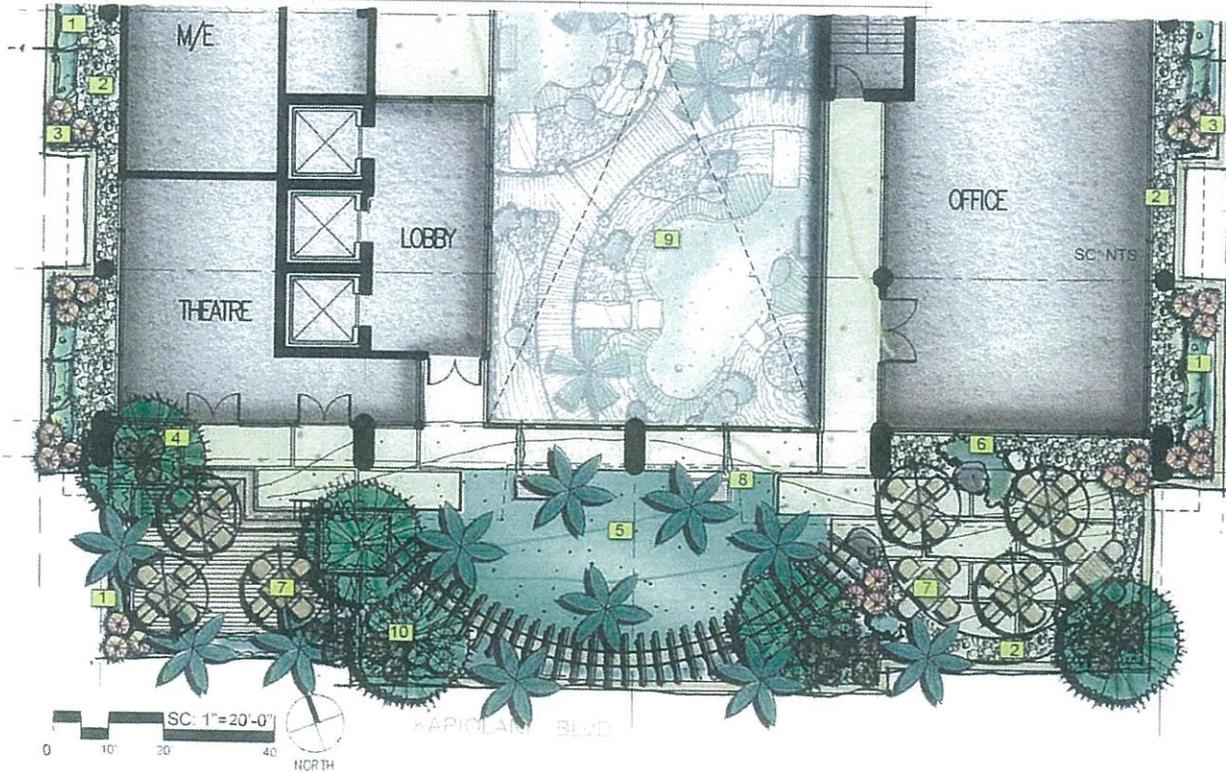
NO.	COMMON NAME	SCIENTIFIC NAME	AMT.	SIZE	NOTES
1	Red 'Kimi' Ginger	<i>Alpinia purpurata</i>	30	3 g.c.	ea. @ 18" o.c., staggered
2	Red 'Lilinoe' Ti	<i>Cordyline fruticosa</i>	30	3 g.c.	ea. @ 12" o.c., clustered
3	Tiare Gardenia Hedge	<i>Gardenia taitensis</i>	50	3 g.c.	ea. @ 30" o.c.,
4	St. Augustine grass	<i>Stenotaphrum Secundatum</i>	750		s.f., sod
5	Dwarf Lauae Fern	<i>Phymatosorus grossus</i>	80	4" pots	ea., @ 16" o.c. staggered
6	Dwarf Japanese Juniper	<i>Juniperus procumbens 'Nana'</i>	18	5 g.c.	ea., @ 24" o.c., clustered

LANDSCAPE NOTES:

1. SPACE TO BE OVER PLANTED w/ SIZE & QUANTITY TO GIVE 'GREEN' APPEAL TO A SMALL SPACE
2. WHERE PLANTS ARE ADJACENT TO BUILDING, 24" MIN. PEBBLE ROCK MOISTURE BARRIER IN THE FORM OF A ROCK GARDEN IS TO BE INTRODUCED.
3. RED GINGER TO BE USED IN CORNERS BEHIND TRELLIS & BENEATH TREE/ BAMBOO

MAP KEY:

1. TIARE GARDENIA HEDGE - TYP @ PERIMETER
2. MOISTURE BARRIER/ DECORATIVE ROCK GARDEN
3. QUEEN EMMA SPIDER LILY
4. DWARF LAUAE FERN - TYP. GROUND COVER AT BASE OF SHRUBS AND FOR PLANTERS
5. ST. AUGUSTINE GRASS OVERFLOW w/ ENGINEERED PAVERS TO MAINTAIN GREEN APPEAL w/ FOOT TRAFFIC
6. DWARF JAPANES JUNIPER - TYP. IN ROCK GARDEN
7. BENCHES/ OUTDOOR FURNISHING TBD BY OTHERS
8. REST BENCH
9. ATRIUM w/ PUTTING GREEN/ ZEN GARDEN BENEATH @ 8TH FLOOR
10. RED GINGER



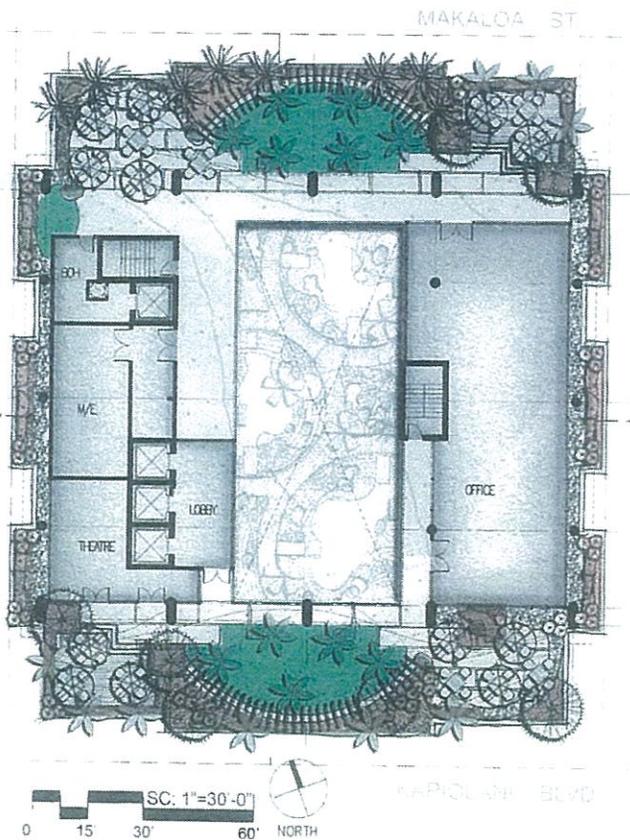
1. LEVEL 16 TYP. SHRUB & GROUNDCOVER PLAN



HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
 1362 KAPIOLANI BLVD. HONOLULU, HI 96814

EXHIBIT C-10
 2017/SDD-11





IRRIGATION LEGEND:

1. ALL IRRIGATION NEEDS TO USE RAINBIRD xfs DRIP SYSTEM WITH TYP. LAYOUT:

- TURF AREAS: 12" x 12" 0.6 GPH
- SHRUB/ GROUNDCOVER: 12" x 18" 0.6 GPH

- 2. REFER TO L-4 FOR TYP. DRIP DETAILS
- 3. PUTTING GREEN WITHIN FOOTPRINT OF TOWER TO USE ARTIFICIAL TURF w/ NO IRRIGATION NEED.

17th FLOOR LEVEL FLOW REQUIREMENTS

	IRRI GATION USAGE ON: Y - NO CHANGE IN DOMESTIC USE		
	Fixture Units (FU)	GALLONS PER MINUTE (GPM)	GALLONS PER DAY (GPD)
A. PROPOSED IRRIGATION	22	14	1120
B. TO BE REMOVED (DEMOLITION)	0	0	0
C. TOTAL NET (A - B)	22	14	1120
D. EXISTING TO REMAIN	0	0	0
E. GRAND TOTAL (C + D)	22	14	1120

1. LEVEL 17 DRIP IRRIGATION PLAN



HAWAII OCEAN PLAZA, PROPOSED LANDSCAPE CONCEPT
1362 KAPIOLANI BLVD. HONOLULU, HI 96814

EXHIBIT C-11
 2017/SDD-11





ARCHITECT
 150 WILSON AVENUE, SUITE 200
 COSTA MESA, CALIFORNIA 92626
 TEL: 949.440.1100 FAX: 949.440.1101

100% OWNER PROVIDED
 AND NOT A DESIGN-BUILD
 CONTRACT

CALIFORNIA
 INVESTMENT
 REGIONAL
 CENTER LLC

Hawaii Ocean Plaza
 Honolulu, Hawaii
 T.M.C. 2-3-016-013 / 019 / 020

INTERIM PLANNED
 DEVELOPMENT
 FEASIBILITY STUDY

DATE: 16 DEC 2016
 REV. 10 MARCH 2017
 REV. 25 APRIL 2017
 PROJECT # 16009.5

SHEET CONTENT
 KAPOLAHUA BLVD
 RENDERING

SHEET NO.
 T0-06

EXHIBIT D-1
 2017/SDD-11



EXHIBIT D-2
2017/SDD-11



ARCHITECT:
THE WORKING DRAWINGS AND
CONSTRUCTION OF THE PROJECT
WAS PREPARED BY FSC.

NOTE: CONSTRUCTOR SHALL CHECK
INDICATED ALL DIMENSIONS AND
BEFORE PROCEEDING WITH WORK.

CALIFORNIA
INVESTMENT
REGIONAL
CENTER LLC

Hawaii Ocean Plaza
Honolulu, Hawaii
TMAK 2-3-016/018/019/020

INTERIM PLANNED
DEVELOPMENT
FEASIBILITY STUDY

DATE: 16 DEC. 2016
REV. 10 MARCH 2017
REV. 25 APRIL 2017
PROJECT # 16009-5

SHEET CONTENT:
KAPOLANI BLVD
ENTRY
RENDERING

SHEET NO.
T0-07

CITY COUNCIL
CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII
C E R T I F I C A T E

RESOLUTION 17-175, CD1

Introduced: 06/22/17 By: RON MENOR – BY REQUEST Committee: ZONING AND HOUSING

Title: RESOLUTION APPROVING A CONCEPTUAL PLAN FOR AN INTERIM PLANNED DEVELOPMENT-TRANSIT PROJECT FOR THE DEVELOPMENT OF THE HAWAII OCEAN PLAZA MIXED USE DEVELOPMENT PROJECT.

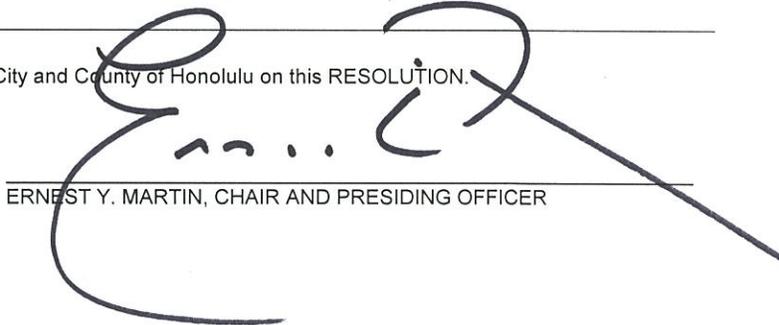
Voting Legend: * = Aye w/Reservations

08/09/17	COUNCIL	<u>M-3747</u> – APPROVED 120-DAY EXTENSION OF TIME. 7 AYES: ANDERSON*, ELEFANTE*, FUKUNAGA, KOBAYASHI, MARTIN, MENOR, PINE. 1 NO: MANAHAN. 1 ABSENT: OZAWA.
11/16/17	ZONING AND HOUSING	CR-447 REPORTED OUT OF COMMITTEE FOR ADOPTION (120-DAY EXTENSION OF TIME).
12/06/17	COUNCIL	CR-447 ADOPTED. 8 AYES: ANDERSON, ELEFANTE, FUKUNAGA, KOBAYASHI, MANAHAN, MARTIN, MENOR, PINE. 1 ABSENT: OZAWA.
03/22/18	ZONING AND HOUSING	CR-108(18) – RESOLUTION REPORTED OUT OF COMMITTEE FOR ADOPTION AS AMENDED IN CD1 FORM.
03/28/18	COUNCIL	CR-108(18) AND RESOLUTION 17-175, CD1 AS AMENDED WERE ADOPTED. 5 AYES: FUKUNAGA, KOBAYASHI, MARTIN, OZAWA, PINE. 3 NOES: ELEFANTE, MANAHAN, MENOR. 1 ABSENT: ANDERSON.

I hereby certify that the above is a true record of action by the Council of the City and County of Honolulu on this RESOLUTION.



GLEN I. TAKAHASHI, CITY CLERK



ERNEST Y. MARTIN, CHAIR AND PRESIDING OFFICER