

DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 7TH FLOOR • HONOLULU, HAWAII 96813
PHONE: (808) 768-8000 • FAX: (808) 768-6041
DEPT. WEB SITE: www.honoluluodpp.org • CITY WEB SITE: www.honolulu.gov

KIRK CALDWELL
MAYOR



KATHY K. SOKUGAWA
ACTING DIRECTOR

TIMOTHY F. T. HIU
DEPUTY DIRECTOR

2017/SMA-24(WA)

January 9, 2018

The Honorable Ron Menor
Chair and Presiding Officer
and Members
Honolulu City Council
530 South King Street, Room 202
Honolulu, Hawaii 96813

RECEIVED
CITY CLERK
C & C OF HONOLULU
2018 JAN 12 AM 8:35

Dear Chair Menor and Councilmembers:

SUBJECT: Special Management Area (SMA) Use Permit Application
No. 2017/SMA-24
Hawaiian Electric Company, Inc. - Waiau Generating Station -
Minor Projects
475 Kamehameha Highway - Waiau
Tax Map Keys 9-8-003: 001 and 010; 9-7-018: 012; and
9-8-004: 002 and 003

Attached is the Department of Planning and Permitting's (DPP) report to the City Council and draft resolution recommending approval of the SMA application for a variety of minor Projects at the Hawaiian Electric Company, Inc. - Waiau Generating Station, to be phased over the next few years to replace, upgrade, remove, and add facilities that will not change its character or use.

The DPP recommends approval, subject to standard conditions relating to archaeological resources, outdoor lighting, and other required approvals.

Pursuant to Chapter 25, Revised Ordinances of Honolulu, the City Council must act within 60 calendar days after receipt of our Findings and Recommendation; however, the City Council may extend this period of time upon receipt of a request from the Applicant for an extension. The extension is not automatic and thus, if an extension

The Honorable Ron Menor
Chair and Presiding Officer
and Members
January 9, 2018
Page 2

of time is not requested in a timely manner, the application may be denied due to the Council's time deadline.

Should you have any questions, please contact me at 768-8000.

Very truly yours,



Kathy K. Sokugawa
Acting Director

Attachments

cc: Mayor Kirk Caldwell
Roy K. Amemiya, Jr., Managing Director
Makena White, Planning Solutions, Inc.
Rouen Q. W. Liu, Hawaiian Electric Company, Inc.

APPROVED BY:



Roy K. Amemiya, Jr.
Managing Director

DEPARTMENT OF PLANNING AND PERMITTING
OF THE CITY AND COUNTY OF HONOLULU

STATE OF HAWAII

IN THE MATTER OF THE APPLICATION)
)
 BY)
)
 HAWAIIAN ELECTRIC COMPANY, INC.) FILE NO. 2017/SMA-24(WA)
)
 FOR A)
)
 SPECIAL MANAGEMENT AREA USE PERMIT)
_____)

FINDINGS OF FACT, ANALYSIS,
CONCLUSIONS OF LAW, AND
RECOMMENDATION

I. GENERAL INFORMATION

- A. Basic Information:
APPLICANT/
LANDOWNER: Hawaiian Electric Company (HECO), Inc.
(Rouen Q. W. Liu)
AGENT: Planning Solutions, Inc. (Makena White)
LOCATION: 475 Kamehameha Highway - Waiiau
(Exhibit A)
TAX MAP KEYS: 9-8-003: 001 and 010; 9-7-018: 012; and
9-8-004: 002 and 003
LAND AREA: 50.4 Acres
EXISTING ZONING: I-2 Intensive Industrial District (Exhibit B)
STATE LAND USE DISTRICT: Urban District (Exhibit C)
SURROUNDING LAND USES: Single-family and multi-family dwellings,
Kamehameha Highway, H-1 Freeway, and
Pearl Harbor
- B. Proposal: The Applicant proposes a variety of minor Projects at its Waiiau Generating Station, phased over the next ten years (2016-2025) to replace, upgrade, remove, and add facilities. Cumulatively, they are valued at more than \$500,000 and, therefore, require a Major Special Management Area (SMA) Use Permit.

The Applicant has classified the proposed minor Projects into four categories: Category 1 includes replacement structures and site improvements, Category 2 includes unoccupied structures without earthwork, Category 3 includes unoccupied structures with earthwork, and Category 4 includes occupied structures.

The following table identifies the proposed minor Projects, classification categories, and provides brief descriptions:

Project	Category	Description
C&M Trailer Replacement	1	Replacement of temporary 1,440-square-foot trailer with new, permanent 1,440-square-foot trailer.
Pond Modification	1	Grading to improve access. Elimination of mauka pond and installation of storm water retention basin.
Perimeter Fence Lighting	2	Installation of LED lighting at intervals of 20 feet along the existing fence perimeter.
Vehicle Fuel System Reconfiguration	2	Removal and replacement of underground storage tank with above ground storage tank.
Variable Frequency Drive	2	Installation of two new variable frequency drive units to control two boiler feed pumps that supply boiler water to generating units W7 and W8.
12 kV Substation Demolition	3	Demolition and removal of 12 kV substation.
138 kV Substation Retrofit	3	Retrofit of existing 138 kV substation including the addition of one new bay to existing six bays.
46 kV Substation Upgrade and Relocation	3	Installation of new upgraded 46 kV Gas Insulated Substation in parking area makai of existing substation and removal of old substation. Area to be used for parking.

Beyond replacing the current temporary trailer with a new trailer, the Category 1 Projects include modifications to the former pond area which warrants additional explanation. Previously, on the eastern side of the site, there were two wastewater management ponds. The former ponds ceased operating over ten years ago and were officially closed by the Department of Health (DOH). The DOH indicates there is no longer a health or safety concern regarding their past use for wastewater management.

The ponds have been partially graded and course gravel has been placed in them to stabilize the surface, to provide an area for vehicle and equipment parking, and a staging area. In addition, the Diamond Head berm of the makai pond has been landscaped, including the installation of a keystone retaining wall in place of the soil berm.

The proposed modifications to the mauka and makai ponds include grading and reducing the height of their surrounding berms. The regrading will improve access to the interior areas of these former ponds. The mauka pond will be eliminated. A storm water retention basin will be installed in the former makai pond. The retention basin will be approximately 12,464 square feet and 4 feet deep. This will provide a capacity of 230,000 gallons, sufficient to accommodate a two year storm event. It will have an extended detention outlet structure connected to the existing storm water elimination system. The retention basin is being installed to divert the flow into the existing downstream drainage infrastructure.

The existing storm water system will be cleaned to remove silt and other matter prior to linking it to the retention basin. The Applicant states that the Project design attempts to balance earthwork cut and fill, however, it is likely that approximately 1,000 cubic yards of excess material will require offsite disposal. Additionally, some gravel material will be used for surface dressing. The total area disturbed will be approximately three acres. A National Pollutant Discharge Elimination System (NPDES) Notice of Intent-Construction Permit and a Grading Permit will be required prior to project implementation.

The keystone wall will be extended along the makai side of the former makai pond. The driveway between the former pond and the drainage trench will be widened, resulting in approximately 5,000 square feet of new paved area. The graded areas within the former makai pond and outside of the proposed retention basin will be dressed with course gravel to inhibit erosion. The area will be landscaped (see Exhibits A-1 through A-16).

- C. Applicant's Justification: The Applicant's justification statements are part of the file.

II. FINDINGS OF FACT

On the basis of the evidence presented, the Director has found:

A. Location:

1. Site: The 50.4-acre site is located in the I-2 Intensive Industrial District and mauka of the Pearl Harbor Historic Trail in Pearl City. The site has ground elevations ranging from approximately 40 feet above mean sea level (MSL) along Kamehameha Highway to just a few feet above MSL along the makai side of the site. Slopes range from a maximum of less than five percent on the upper portion of the site to less than 0.5 percent on the makai side of the site with a consistent slope toward Pearl Harbor (see Exhibit A).
2. Surrounding Uses: The Project site is bounded by Kamehameha Highway to the north, H-1 Freeway to the west, single-family and multi-family dwellings to the east, and Pearl Harbor to the south (see Exhibit B).
3. Drainage: The site slopes south from the mauka boundary with Kamehameha Highway towards the 40-foot-wide Pearl Harbor Historic Trail (PHHT) in the Navy right-of-way. It then levels off to a relatively flat area from the PHHT to the southern property boundary. Kamehameha Highway, to the north, prevents off-site storm water from affecting the site, while storm water from the site discharges into Pearl Harbor via HECO's privately-owned storm water drainage system. The storm water system at the site is authorized by the DOH, Clean Water Branch, to discharge storm water associated with industrial activities by Individual Permit No. HI-0000604.

Rainwater that falls on the mauka portion of the site, which consists mostly of hardscape, is managed in one of two ways. On the eastern portion, it is collected in swales and storm water drains and discharges into Pearl Harbor's East Loch. Rainwater that falls on the western portion of the site and in the portions of the facility makai of the PHHT, which has more unpaved areas, generally sheet flows

to Waiau Pond or into the East Loch. There are no storm drain catchments in the area makai of the PHHT.

4. Soils: According to the U.S. Department of Agriculture's Soil Conservation Service, three soil types comprise the majority of the developed areas of the site. In the makai area, the soil is composed of Keaau Clay (KmbA). These soils are saline with 0 to 2 percent slopes and are poorly drained. This type of soil occurs in depressions adjacent to the ocean or in pockets within the limestone where seepage water evaporates. In the central and western portion of the facility, the soil is Honouliuli Clay (HxA); these soils have 0 to 2 percent slopes and are well drained. In the mauka portion of the site, the soil is Molokai Silty Clay Loam (MuC). This soil has 7 to 15 percent slopes with a moderate risk of erosion and is well drained. This soil type occurs on knolls and sharp slope breaks. Two other soil types in limited areas include Pearl Harbor Clay (Ph), present in a small area in the southwest corner of the site with 0 to 2 percent slopes and is poorly drained; and Tropaquepts (TR) in the northeast corner of the site. This soil has 0 to 2 percent slopes and is poorly drained. TR is typically found in areas of very shallow groundwater and are subject to flooding.

Development at the site has capped the soils listed above with structures, roadways, and parking areas. Alternatively, the natural soils that were not considered supportive of the planned structures and uses were removed and replaced with engineered fill material.

5. Hydrology: The site consists of five lots with three lots along the shore of the East Loch of Pearl Harbor. The principal surface water features in the Project area include the following: Pearl Harbor Estuary, Waiau Pond, Waiau Stream, Kaluaoopu Spring, and Pearl City Stream. Neither Waiau Stream nor Pearl City Stream are perennial streams. With the exception of Pearl Harbor, all the water bodies in and around the site are designated as "Class 2 Inland Water" by the DOH. According to Hawaii Administrative Rules, Title 11, Chapter 54, "...the objective of Class 2 waters is to protect their use for recreational purposes, the support and propagation of aquatic life, agricultural and industrial water supplies, shipping, and navigation. The uses to be protected in this class of waters are all uses compatible with the protection of fish, shellfish, and wildlife, and with recreation in one of these waters."

Prior to 1961, the Pearl City Stream (also known as Waimanu Stream) flowed between the wetlands associated with Kaluaoopu Spring (AECOS, 2007) through the site, where it discharged into the East Loch of Pearl Harbor. The stream was redirected into a new channel leading to a new outlet along the shore approximately 700 feet to the west of its original outlet. The stream flows in a lined channel from above Kamehameha Highway, under H-1 Freeway and the Pearl Harbor Historic Trail, then into a soil-bermed channel to Middle Loch.

6. Coastal Zone Management (CZM): The Project site is located entirely within the SMA (See Exhibit A). Therefore, the site is subject to Chapter 205A-2, Hawaii Revised Statutes (HRS). The site consists of three shoreline lots, some are within the tsunami and hurricane evacuation zones. There is very little

development within these shoreline lots and none of the proposed improvements are located there.

7. Sea Level Rise: The Applicant used data prepared by the National Oceanic and Atmospheric Agency to identify areas within the site which would be affected by a one-meter sea level rise, slightly more than the upper end of the range predicted to occur by the year 2100. The undeveloped portions of the southwestern corner of the site may be subject to inundation if the sea level rose one meter, but the developed portion of the facility would be unaffected.

8. Flora and Fauna: There is very little vegetation within the working areas of the site. The site is mostly covered with gravel and pavement. Natural vegetation is limited to the perimeter of the site, along the shoreline of Pearl Harbor, and nearby marshland areas. The undeveloped areas on the west side of the site include cultivated watercress and taro patches. These areas also support dense, thick mats of California grass (three to five feet tall), shrubs of koa haole, castor bean, and sourbush. They are found west and northwest of Waiau Pond, near the watercress farms and spring sources.

Makai of this freshwater habitat, there are Indian pluchea shrubs, Australian saltbush, and swollen fingergrass. Further makai, mudflats and shallow brackish water habitats along the shore are dense patches pickleweed and a few other plants. The majority of the plants along the shoreline are American or red mangrove. The mangroves are 20 to 40 feet tall and in some of the more sheltered inland areas, there are trees that reach 50 to 60 feet tall. The PHHT Master Plan indicates that the mangroves are periodically removed from areas east of Lehua Avenue, which includes the area surrounding the site. The Navy periodically removes mangrove from many areas around Pearl Harbor for habitat restoration and other purposes.

The various natural and manmade wetland features near the West Loch of Pearl Harbor and the loch waters, themselves, support native Hawaiian waterbirds, such as the Hawaiian Duck, Hawaiian Coot, Hawaiian Stilt, Hawaiian Moorhen, and Hawaiian Owl. All five species are listed as endangered under both the Federal Endangered Species Act and the State of Hawaii endangered species statutes. The Applicant plans to install fully-shielded seabird friendly fence-mounted lighting around the perimeter of the site.

9. Historic Sites: There is at least one structure, the original power plant building, which has been determined to be eligible for inclusion in the State and National Registers of Historic Places. To minimize and mitigate the potential for adverse impacts to the original power plant building and other potentially historic properties, the Applicant will consult with the State Historic Preservation Division (SHPD) prior to the implementation of the Projects.
10. Shoreline Views and Open Space: The primary transportation thoroughfares in the area, which offer partial views of the site, are Kamehameha Highway and the elevated H-1 Freeway. The Honolulu Rail Transit Project's elevated guideway will pass by the site on Kamehameha Highway, under the H-1 Freeway. The primary view of Pearl Harbor from Kamehameha Highway is from Neal S.

Blaisdell Park, approximately 1,000 feet to the east of the site. Another distinctive view are elevated pipelines, conduits, and a utility bridge that intersect the PHHT passing overhead of pedestrians and bicyclists. In the western portion of the site, the shoreline veers away from the PHHT, so that near shore ponds and the watercress farm are the primary views.

- B. Flood District: The Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) (Community Panel Nos. 15003C0239G and 15003C0243H), of November 5, 2014, indicates the site is within Flood Zones D, VE, and X. Flood Zone D is in unstudied areas where flood hazards are undetermined, but flooding is possible. Flood Zone VE is coastal flood zone with velocity hazard (wave action); Base Flood Elevation determined. Flood Zone X includes areas determined to be outside the 0.2 percent annual chance floodplain (see Exhibit D).
- C. Environmental Compliance: The Applicant prepared an Environmental Assessment (EA) and issued a Finding of No Significant Impact (FONSI) for the Project that was published in the February 23, 2017 edition of "The Environmental Notice" of the Office of Environmental Quality Control.
- D. Consistency with County Plans and Land Use Ordinance (LUO):
1. County Plans: Per Revised Ordinances of Honolulu (ROH), Chapter 25-3.2b(3), and the FEA for this proposal, the development is consistent with the county general plan, development plans, and zoning.
 2. LUO: The site is in the I-2 Intensive Industrial District. The existing generating station is a permitted use.
- E. SMA Permit History:
- October 19, 2016: Final EA (No. 2016/ED-7) was issued a FONSI for the Waiiau Generating Station Non-Character Altering Projects 2016-2025.
 - December 24, 2013: SMA Permit (Minor) (No. 2013/SMA-40) was approved to allow paving on the site.
 - June 6, 2012: SMA Permit (Minor) (No. 2012/SMA-17) was approved for two 128-square-foot exciter mounted on a concrete foundation.
 - September 30, 2010: SMA Permit (Major) (No. 2010/SMA-31) was approved to construct a new utility bridge between Generating Units 7 and 8.
 - February 27, 2002: SMA Permit (Minor) (No. 2002/SMA-11) was approved to allow an eight-foot-high, 240 linear-foot Polyvinyl Chloride (PVC) coated chain-link fence.
 - March 27, 2001: SMA Permit (Minor) (No. 2001/SMA-27) was approved to allow improvements to existing microwave communication antenna array.

- September 6, 2000: SMA Permit (Minor) (No. 2000/SMA-64) was approved to allow the Waiiau 5 demineralizer project.

- F. Other Permits and Approvals: The Projects will require minor modifications to the existing Conditional Use Permit as well as a Shoreline Setback Variance, Public Utilities Commission Authorization, Coastal Zone Management Program Consistency Determination, NPDES Permit, and Building Permits.
- G. Agency Comments: Comments concerning the Projects were solicited and received from various government agencies during the EA process. Agency comments relevant to the SMA Use Permit were considered, and are discussed under the Analysis Section of this report. Additional comments were received from the following agencies:
1. State: DOH, Wastewater Branch; DOH, Environmental Planning Office; Department of Defense; Office of Planning; Department of Accounting and General Services; Department of Land and Natural Resources (DLNR); DLNR, Land Division and Engineering Division, DLNR, Office of Conservation and Coastal Lands; and Department of Human Services.
 2. City and County of Honolulu: Honolulu Police Department; Department of Parks and Recreation; Honolulu Fire Department; Department of Transportation Services; Board of Water Supply; Department of Facility Maintenance; and Department of Design and Construction.
 3. Other: Commission of Water Resource Management; Office of Hawaiian Affairs; and U. S. Fish and Wildlife Services.
- H. Public Hearing and Community Comments: Upon acceptance of the Application for processing, informational notices were sent by the DPP to various community organizations, public officials, the Pearl City Neighborhood Board No. 21, and property owners within 300 feet of the site.

On October 4, 2017 at 10:30 a.m., the DPP held a Public Hearing to receive testimony concerning the SMA Use Permit application in the Multi-Purpose Room of the Waiiau District Park. The hearing was attended by the Agent, representatives of the Applicant, and approximately 30 members of the public.

The Agent gave a presentation and answered several questions from the Hearings Officer, the Project Planner, and the public. There were questions about radiation, on-site parking, whether residents would need to relocate, removal of underground storage tank, perimeter fence lighting, traffic and access to the site, and plant expansion. The questions were answered by the Agent and the DPP staff.

III. ANALYSIS

A. SMA: The proposed Projects were analyzed in accordance with the objectives, policies, and guidelines established in Sections 25-3.1 and 25-3.2, ROH, as well as Sections 205A-2 and 205A-26, HRS.

1. Coastal Hazards and Drainage: As noted previously, the proposed Projects are not located in any hazardous areas. Only a small area, which follows the shoreline, is within Flood Zone VE. Storm water from the site discharges into Pearl Harbor via HECO's privately owned storm water drainage system.

The Applicant stated that it may be possible, towards the end of this century, that some development may need to be moved. At that time, the existing facilities would have a service life of more than 75 years and future replacement of these facilities may be necessary at an alternative location away from the shoreline.

Any mitigation needed for flood hazards and drainage will be addressed during the building permit stage. A condition of approval related to flood hazards is not necessary, but the use of Best Management Practices should be a condition of approval.

2. Alteration to Land Forms: The Projects will not significantly affect area land forms or vegetation. The site would continue to have the same general physiographic and topographic characteristics. Some of the Projects include landscaping and other minor disturbances to existing landscaping during the construction phase. With relatively small changes to site topography, there will be insignificant changes to storm water runoff. A condition of approval related to land forms is not necessary.
3. Near-Shore Water Quality: The Project site is a shoreline property. None of the proposed Projects or development activities require work that discharges into Pearl Harbor or any other water sources. The proposed work to the mauka pond and installation of the retention basin will reduce runoff prior to discharge. No adverse impacts to area water quality, fisheries, fishing grounds, wildlife habitat, or agricultural lands are anticipated. A condition of approval related to near-shore water quality is not recommended.
4. Solid and Liquid Waste Disposal:

- a. Solid Waste: Only small amounts of hazardous materials may be required during construction activities, i.e., removal of the 46 kV and 138 kV substation Projects, will generate construction waste. Best Management Practices will be used when handling hazardous materials. The scrap material will be sold to dealers for recycling or disposed of at an appropriate construction material landfill. Construction of the various projects and development will lead to some other types of solid waste, primarily of typical construction and packing material. Solid waste from the proposed Projects and development activities will be disposed of at an approved off-site location. A condition of approval related to solid waste disposal is not recommended.

- b. Wastewater Disposal: The proposed improvements will not generate significant quantities of liquid waste. A condition of approval related to wastewater disposal is not recommended.
- 5. Coastal Ecosystems: The site has three shoreline lots, but no significant impacts to coastal ecosystems are expected as a result of the Projects.
 - a. Flora: There is very little vegetation on the site. Most of the site is covered with pavement or gravel. Vegetation on the site is kept to a minimum because it poses a fire risk. A few areas are landscaped.
 - b. Fauna: The Applicant states various natural and man-made wetland features near the West Loch of Pearl Harbor and the loch waters themselves support native Hawaiian waterbirds such as the Hawaiian Duck, Hawaiian Coot, Hawaiian Stilt, and Hawaiian Moorhen. All four species are listed as endangered under both the Federal Endangered Species Act and the State of Hawaii endangered species statutes. The State of Hawaii endangered Hawaiian owl may also be found in this area.

The standard condition of approval to prevent any light that directly illuminates or is directed to project across property boundaries toward the shoreline and ocean waters should be imposed.
- 6. Recreational Resources and Shoreline Access: The site is adjacent to the PHHT, which is located within the Navy right-of-way that transects the site along an east-west axis. The PHHT Master Plan (2001) indicates the PHHT is a part of the open space network and establishes the goal of preserving it for the recreational and educational use of the community. Other than the Neal S. Blaisdell Park, located about 1,000 feet east-southeast of the site, there are no other recreational resources nearby. The Projects will not alter the area makai of the shoreline. There is no public lateral shoreline access other than the PHHT. No alterations to the PHHT are proposed by the Applicant; therefore, no condition of approval is recommended.
- 7. Historic and Cultural Resources: In 2012, Cultural Survey Hawaii, Inc. (Sroat and McDermott, 2012) conducted an archaeological inventory survey for construction of Phase 2 of the Honolulu High-Capacity Transit Corridor and identified one property on the mauka side of Kamehameha Highway, across from the generating station, consisting of potential historic features, and has been given the State Inventory of Historic Places No. 50-80-09-7150. Various areas containing cultural deposits are described in the 2016 Final EA. None of these sites will be impacted by the proposed Projects. It is recommended, as a standard condition of approval for SMA permits, that if during construction any previously unidentified archaeological sites or remains are encountered, the Applicant will have to stop work and contact SHPD immediately.
- 8. Scenic and Open Space Resources: The existing generating station has been in operation since the 1930s and its overhead lines, poles, and industrial structures obstruct views of Pearl Harbor from Kamehameha Highway and the H-1 Freeway. The proposed improvements will not significantly increase the visual

and aesthetic impacts from the surrounding areas. The proposed improvements do not further detract from the scenic and open space resource goals of the SMA and State CZM Program.

9. Consistency with Land Use Plans and Zoning: The Projects are consistent with the General Plan objectives and policies relating to utilities. Objective A is "to maintain an adequate, dependable, and economical supply of energy for Oahu residents". Objective B is "to conserve energy through the most efficient means of use". Objective C is "to maintain a high level of service for all utilities". The Projects are also consistent with the Primary Urban Center Development Plan policy objectives Section 4.3.2, to support retention and upgrade of the Waiiau and Honolulu Power Plants, as part of a strategic plan to improve the reliability of the Primary Urban Center's electrical power system. The Projects are consistent with all applicable LUO development standards of the I-2 Intensive Industrial District.

IV. CONCLUSIONS OF LAW

The Director of the DPP hereby makes the following Conclusions of Law for the SMA Use Permit: The proposed development, as described in Exhibits A-1 through A-16, was reviewed under the provisions of Sections 25-3.1 and 25-3.2, ROH, and Sections 205A-2 and 205A-26, HRS, and found to be consistent with established SMA objectives, policies, and guidelines. Based on the analysis, the proposed demolition, construction, and ancillary site improvements will not adversely impact SMA resources, provided that appropriate mitigative conditions are observed.

V. RECOMMENDATION

Based on the preceding analysis and conclusion, it is recommended that this application for a Special Management Area (SMA) Use Permit for a variety of minor Projects at the Waiiau Generating Station, phased over the next ten years to replace, upgrade, remove, and add facilities that will not change its character or use, be **APPROVED**, subject to the following conditions:

- A. Construction must be in conformity with the Projects as described in the Department of Planning and Permitting's findings and recommendation, referenced above, and as depicted in Exhibits A-1 through A-16, attached hereto and incorporated herein. Any change in the size or nature of the Projects that have a significant effect on coastal resources, addressed by the Revised Ordinances of Honolulu (ROH) Chapter 25 or Hawaii Revised Statutes (HRS) Chapter 205A, or both, will require a new application and SMA Use Permit. Any change that does not have a significant effect on coastal resources will be considered a minor modification and therefore permitted under this resolution, upon review and approval by the DPP Director.
- B. If, during construction, any previously unidentified archaeological sites or remains (such as artifacts, shell, bone, or charcoal deposits, human burials, rock or coral alignments, pavings, or walls) are encountered, the Applicant shall stop work and contact the

State Historic Preservation Division (SHPD) immediately. Work in the immediate area shall be stopped until the SHPD is able to assess the impact and make further recommendations for mitigative activity.

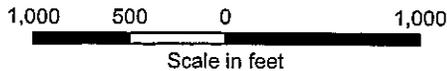
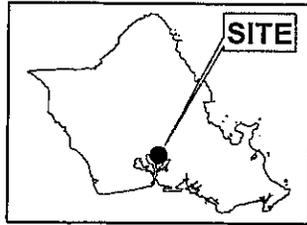
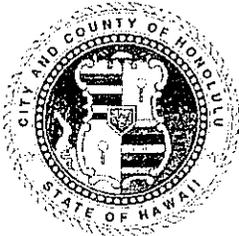
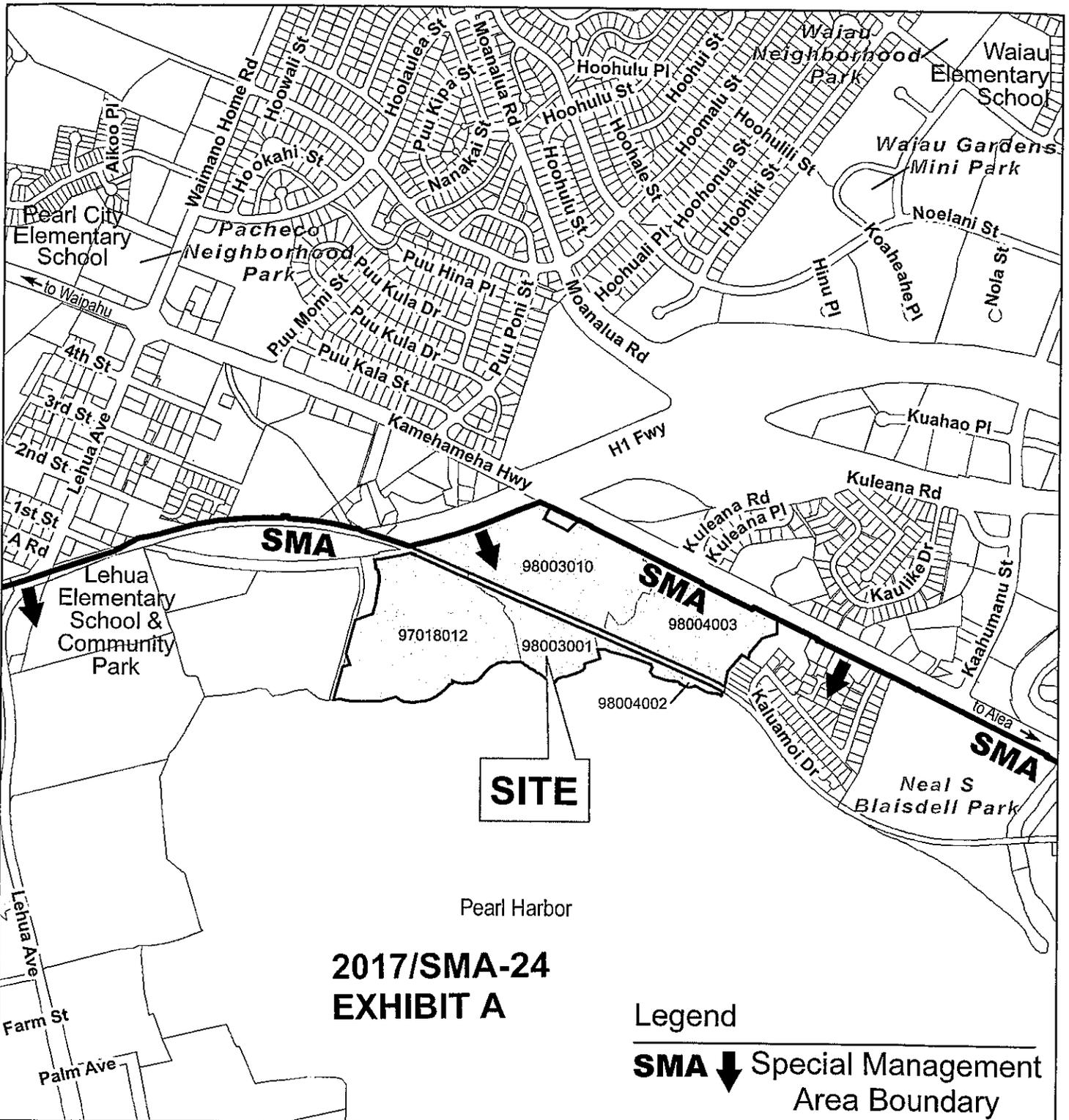
- C. Artificial light from the proposed perimeter fence lighting, including but not necessarily limited to floodlights or spotlights used for decorative or aesthetic purposes, is prohibited if the light directly illuminates, or is directed across property boundaries toward the shoreline, ocean waters, and sky, except as may otherwise be permitted pursuant to Section 205A-71(b), HRS.
- D. All site work and/or construction activities shall be limited to daylight hours only.
- E. The Applicant shall implement Best Management Practices (BMPs) to control erosion and sedimentation. The grading and development permit applications shall detail the BMPs.
- F. The Applicant shall obtain the initial development permits for the proposed Projects within two years of the date of this permit.
- G. Approval of this SMA Use Permit does not constitute compliance with other Land Use Ordinance (LUO) or other governmental requirements, including grading and grubbing permit approvals. They are subject to separate review and approval. The Applicant will be responsible for insuring that the final plans for the Projects approved under this SMA Use Permit comply with all applicable LUO and other governmental provisions and requirements.

Dated at Honolulu, Hawaii, this 9th day of January, 2018.

Department of Planning and Permitting
City and County of Honolulu
State of Hawaii

By 
Kathy K. Sokugawa
Acting Director

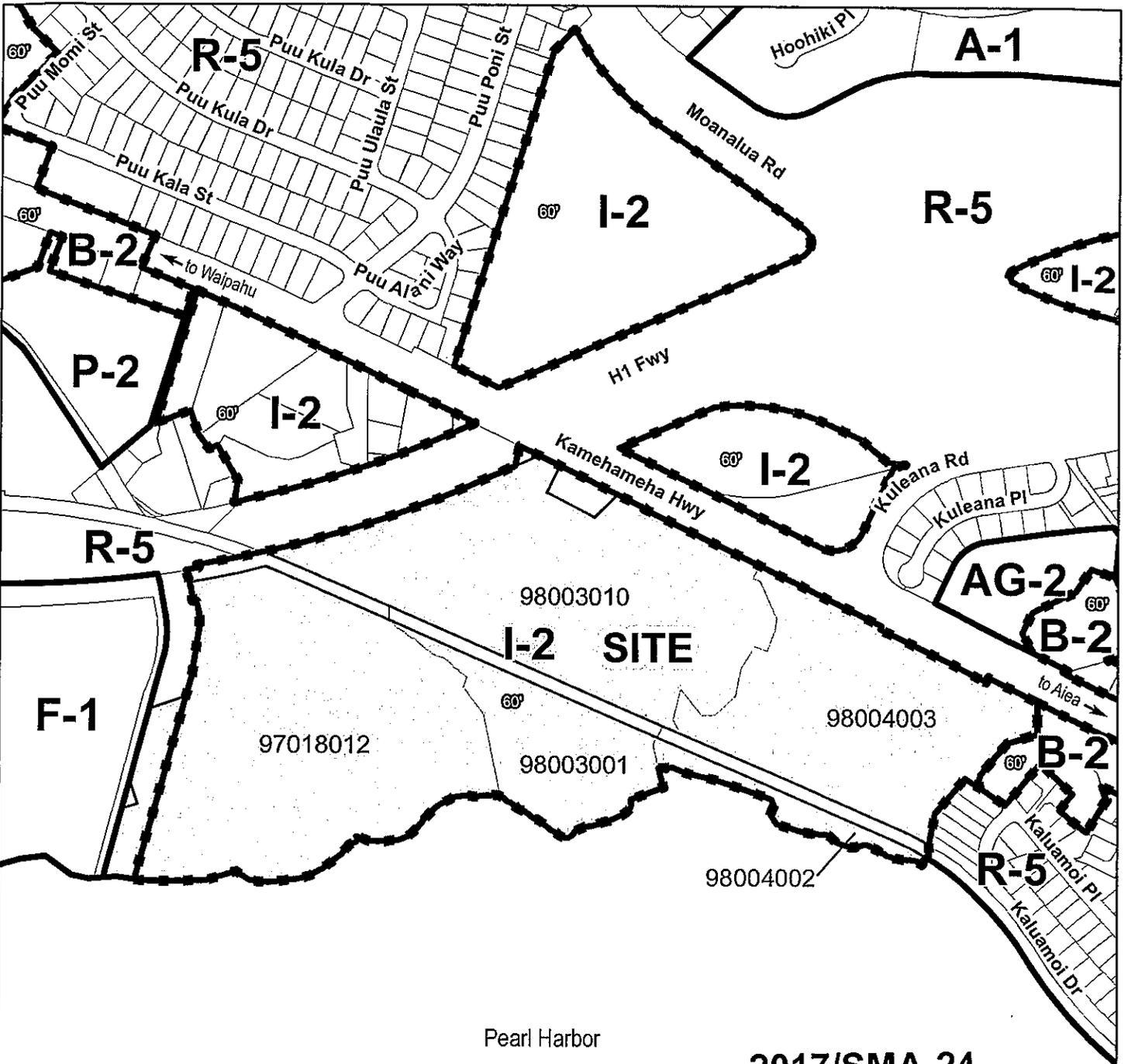
Attachments



LOCATION MAP PEARL CITY

TAX MAP KEY(S): 9-7-018:012,
9-8-003:001 & 010, 9-8-004:002 & 003

FOLDER NO.: 2017/SMA-24

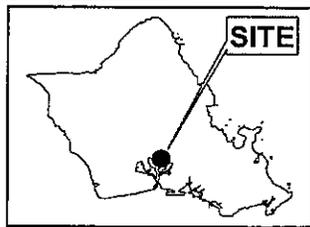
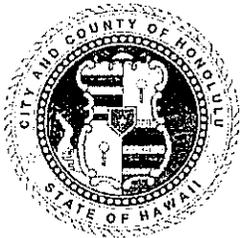


Pearl Harbor

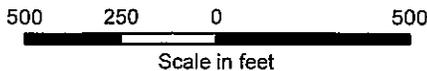
**2017/SMA-24
EXHIBIT B**

Legend

 Zoning Map Height Limit



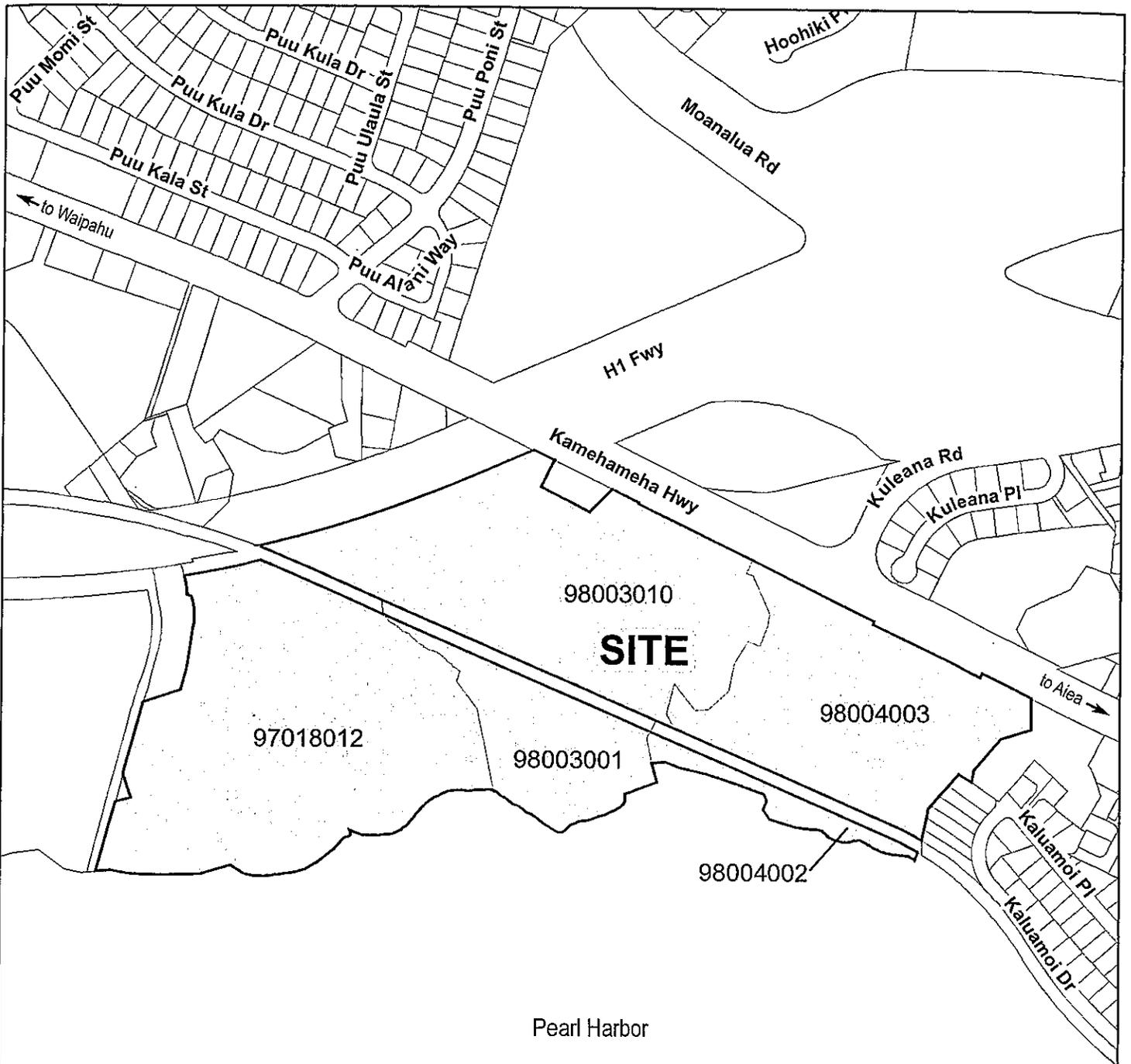
VICINITY MAP



**PORTION OF
EXISTING ZONING MAP
(HALAWA-PEARL CITY)**

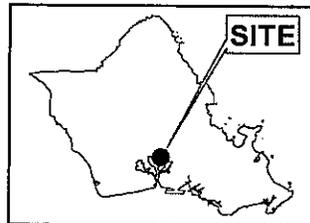
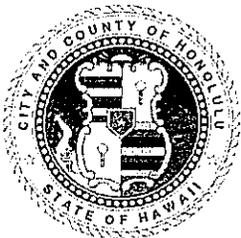
**TAX MAP KEY(S): 9-7-018:012,
9-8-003:001 & 010, 9-8-004:002 & 003**

FOLDER NO.: 2017/SMA-24

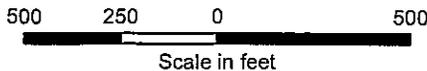


**2017/SMA-24
EXHIBIT C**

Entire area Urban



VICINITY MAP



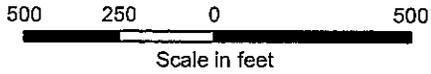
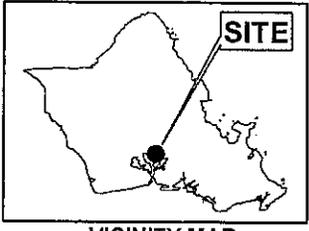
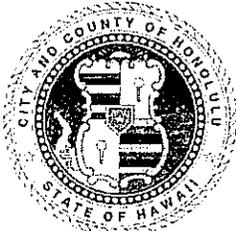
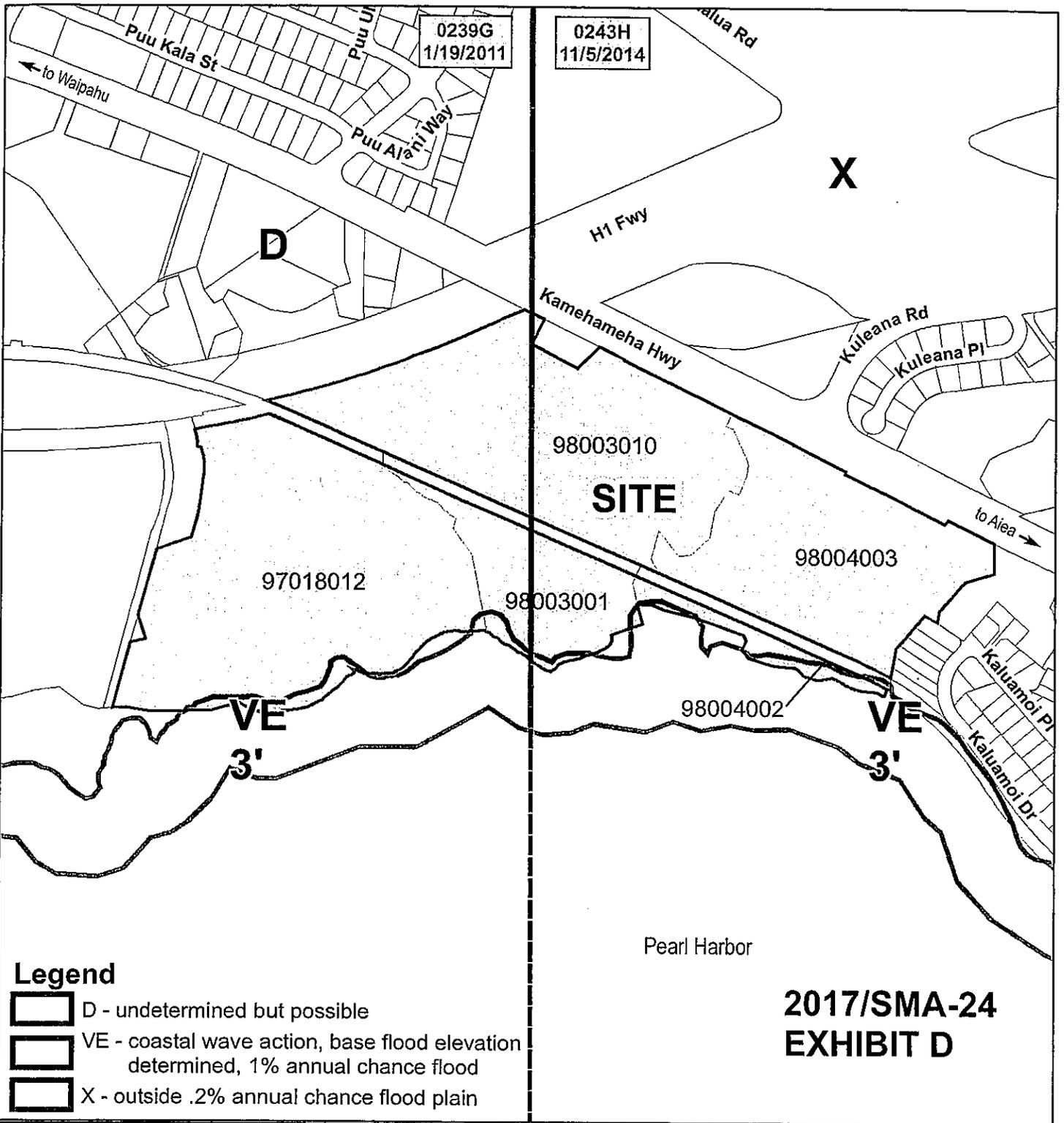
Scale in feet



**PORTION OF
STATE LAND USE MAP**

**TAX MAP KEY(S): 9-7-018:012,
9-8-003:001 & 010, 9-8-004:002 & 003**

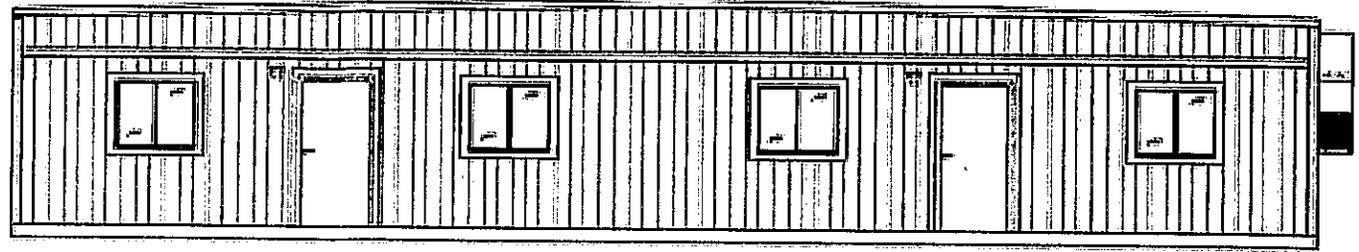
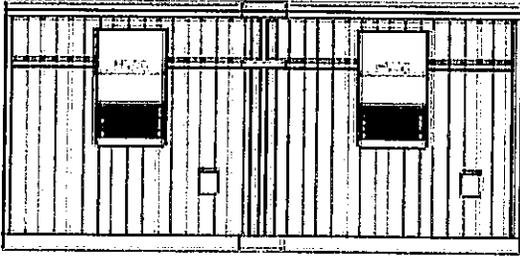
FOLDER NO.: 2017/SMA-24



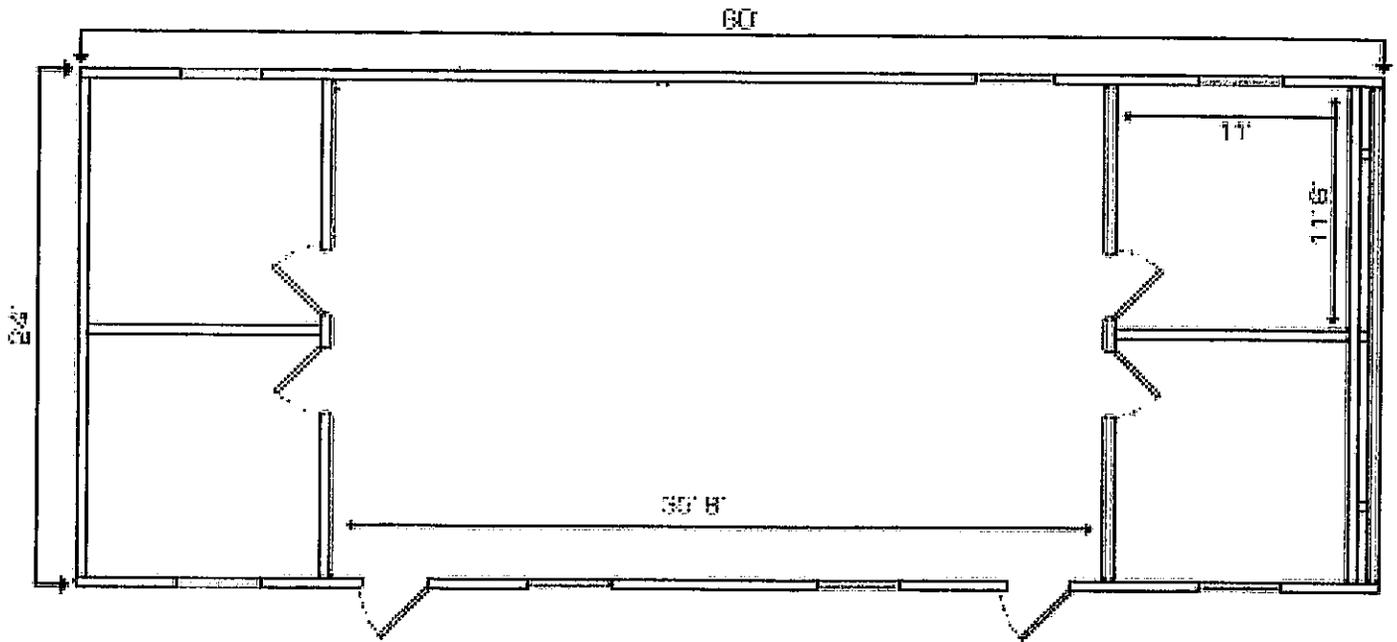
FLOOD HAZARD MAP PEARL CITY

TAX MAP KEY(S): 9-7-018:012, 9-8-003:001 & 010, 9-8-004:002 & 003

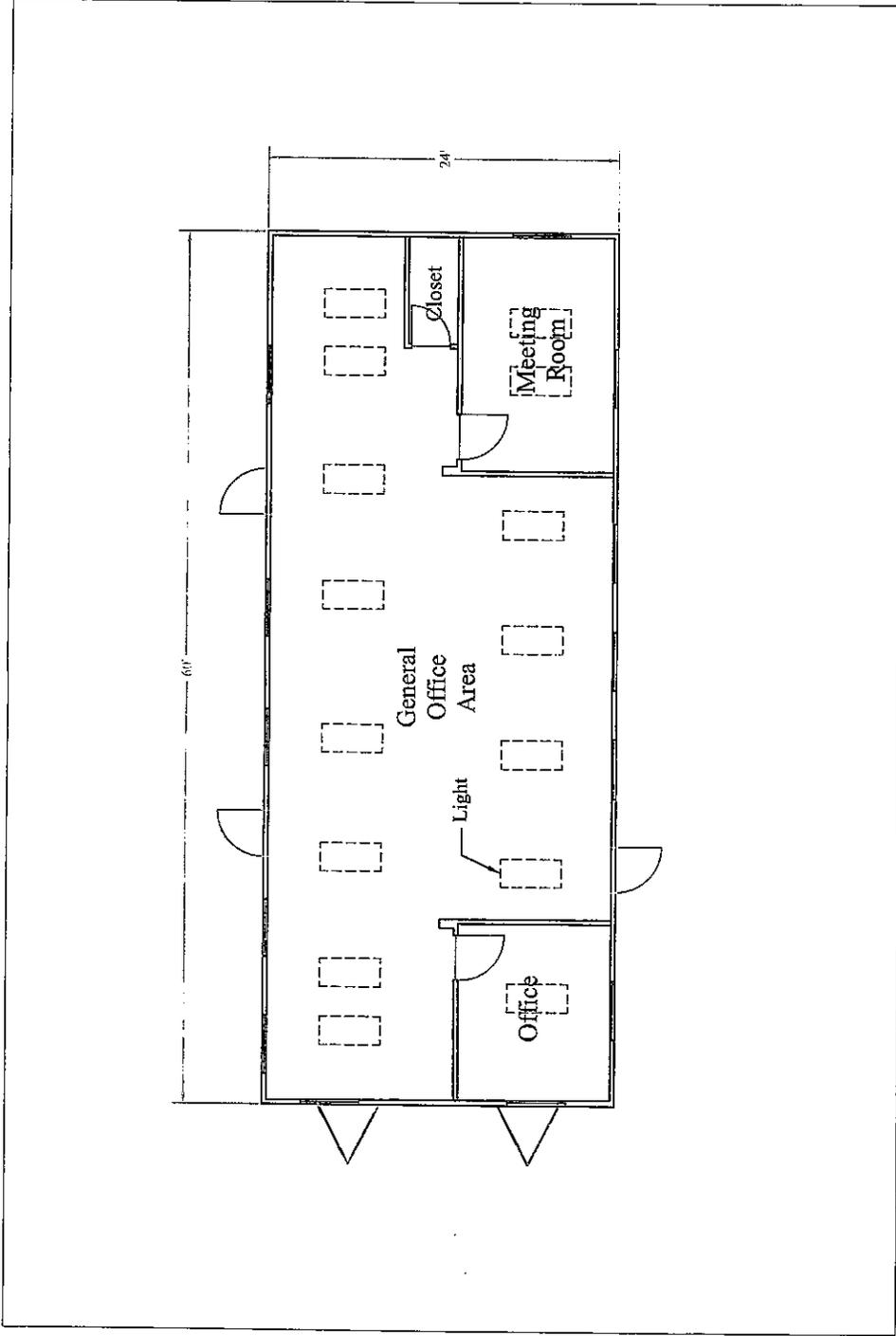
FOLDER NO.: 2017/SMA-24



- 1440 square feet of office space
- Four private offices
- Generous office space for 10 - 13 people.
- Central heating and air conditioning
- Constructed with a steel I-beam outrigger chassis
- Carpet ready flooring offers an almost maintenance free office building.
- Upgraded interior wall coverings and wood siding provides for a professional appearance.
- Buildings are completely insulated

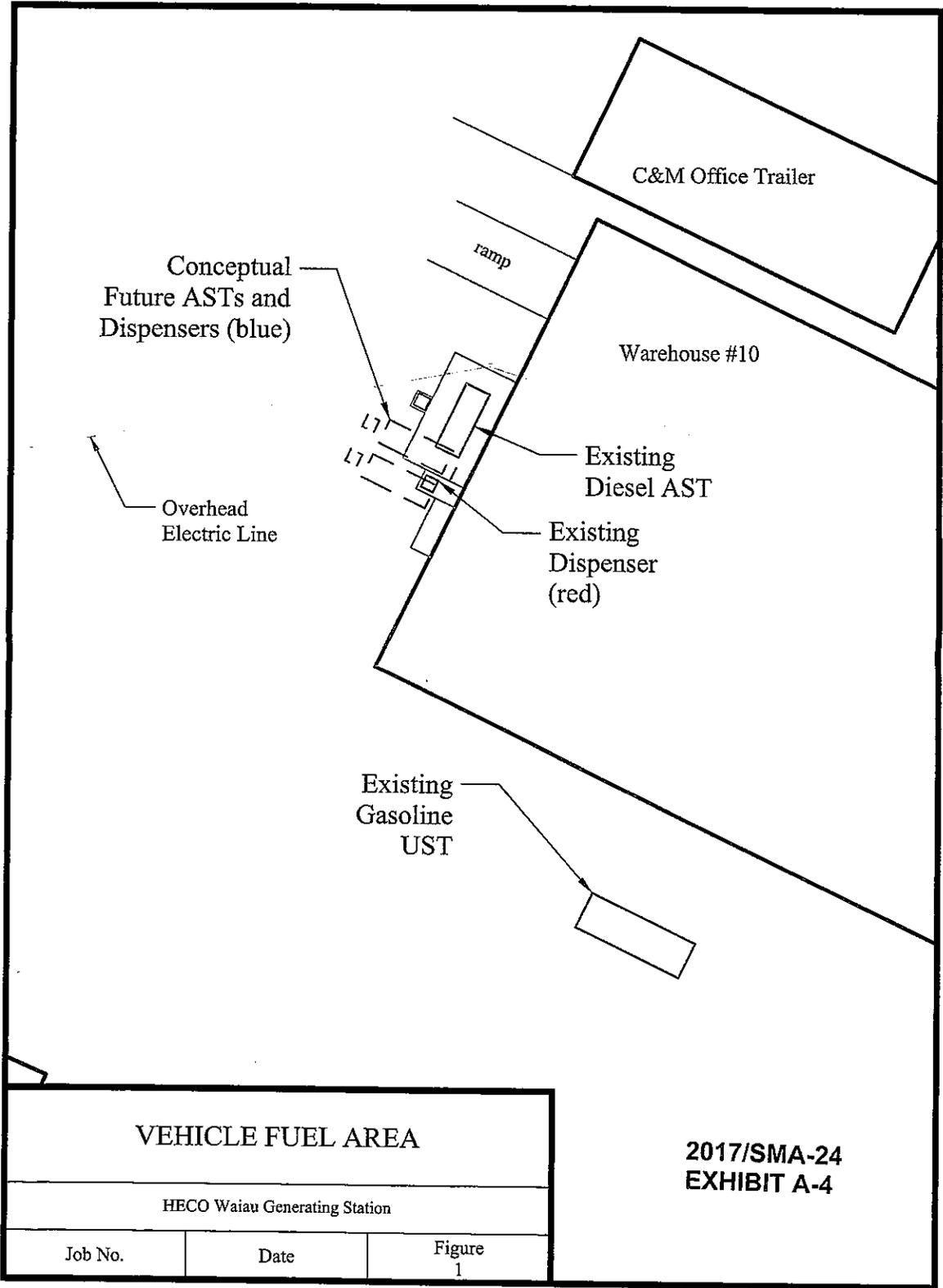


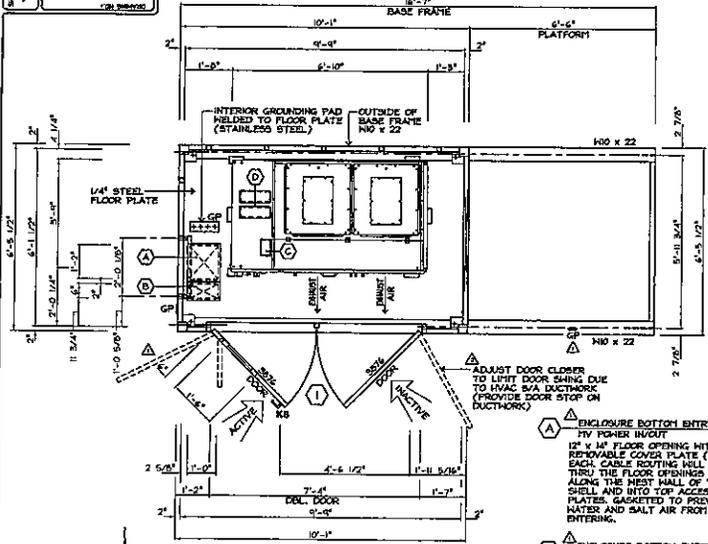
2017/SMA-24
EXHIBIT A-1



Waiau Generating Station - 24x60 Trailer

2017/SMA-24
EXHIBIT A-2

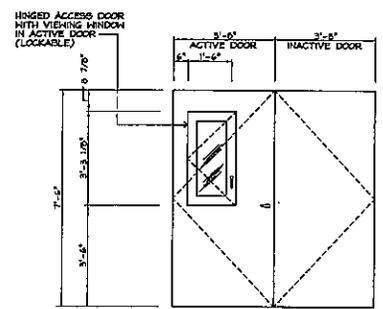




FLOOR PLAN
SCALE 1/2" = 1'-0"

DOOR SCHEDULE

NO.	SIZE	FRAME MATL.	FRAME TYPE	DOOR MATL.	DOOR TYPE	HDWR	HAND	REMARKS
I	7476			16 GA. STEEL	M	H-1	LHRA	PAINT TO MATCH ADJ. WALL SURFACE



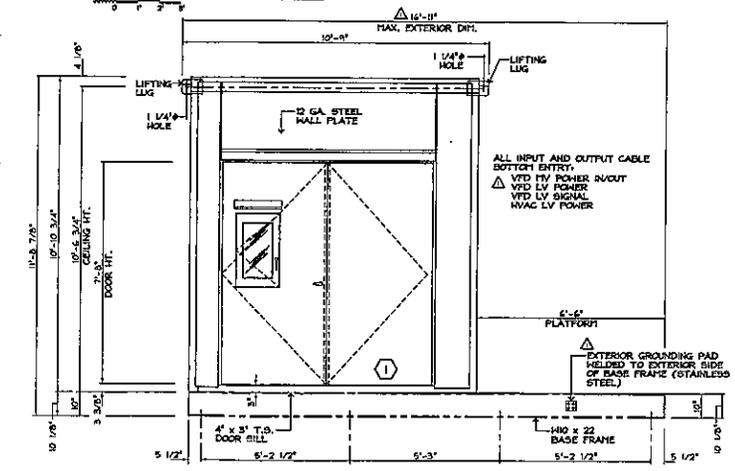
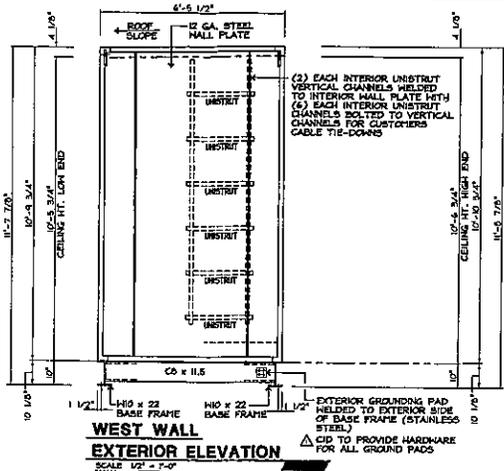
- ACTIVE DOOR**
- CYLINDER LOCKSET
 - DORMA CLOSER 0900
 - PEMKO 185AP THRESHOLD WITH LIP & PILE (REMOVABLE)
 - GASKETTING, SIDE & HEAD
 - MULLION, REMOVABLE
- INACTIVE DOOR**
- PEMKO 185AP THRESHOLD WITH LIP & PILE (REMOVABLE)
 - GASKETTING, SIDE & HEAD
 - TOP & BOTTOM DEAD BOLTS

DOORS TO BE AS MFG. BY OPENINGS

TOTAL DOOR SYSTEMS
40 WEST HOWARD
FONTRAC, TN 48340-1280

DOORS TO BE INSULATED
COLOR OF DOOR TO BE TOTAL DOOR GRAY

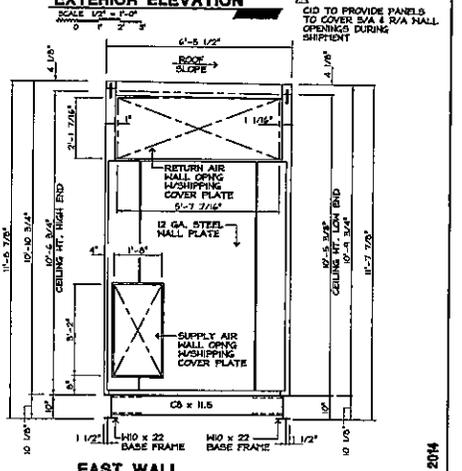
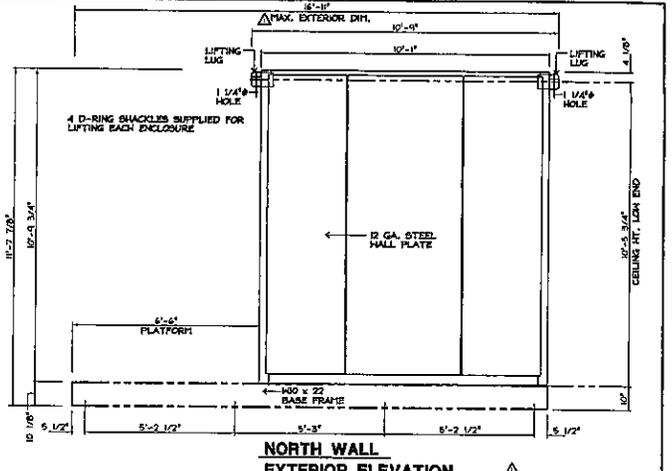
**2017/SMA-24
EXHIBIT A-5**



ONE WEIGHT CLASSES

- EQUIPMENT NO. 1 02" WIDTH
- BLDG. PLATED INSIDE & OUT - 6,400.00
 - EQUIPMENT HEIGHT - 1,420.00
 - SHED HEIGHT - 1,778.00
 - HVAC - 1,700.00
 - PORCH SCID - 1,250.00
 - DUCTWORK - 800.00
- 23,795.00 lbs @ 5,949.00 lbs/LLG

REV	DATE	REMARKS
6	FEB 2014	ADDED DOOR MULLION TO FLOOR PLAN. LIMIT SWING OF INACTIVE DOOR
5	FEB 2014	NOTED INPUT & OUTPUT CABLE ENTRY. ADDED GND PAD TO SOUTH PLATFORM. PROVIDE HDWR FOR ALL GND PADS. NOTED MAX EXT. DIM. SHOW FULL DOOR SWING. ADDED COVERS FOR S/A & R/A OPENINGS.

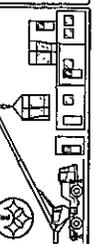


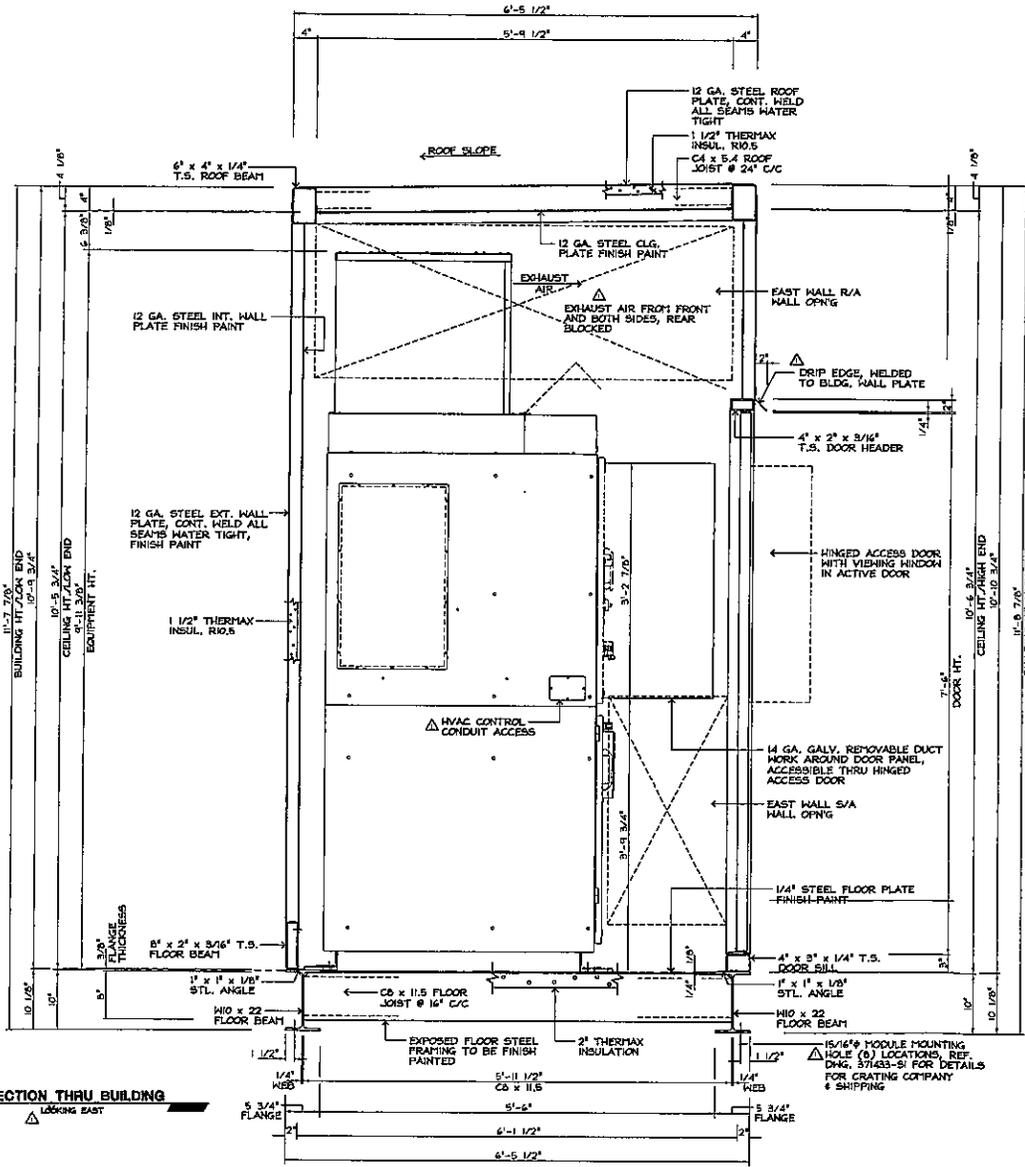
"THIS DOCUMENT IS CONFIDENTIAL INFORMATION OF CID ASSOCIATES SUBJECT TO THE MUTUAL NONDISCLOSURE AGREEMENT BETWEEN CID ASSOCIATES AND THE DRIVE TECHNOLOGIES DIVISION OF SIEMENS INDUSTRY, INC."

GENERAL TERMS AND CONDITIONS OF C.I.D. PROPOSAL/CONTRACT WILL PREVAIL IN ALL MATTERS. C.I.D. WILL NOT ACCEPT ANY LIABILITY AS TO PRODUCT IF CHANGES OR DRINKING ARE MADE WITHOUT AUTHORIZATION AND APPROVAL OF C.I.D. THIS PRINT IS OWNED BY C.I.D. ASSOCIATES, INC. AND SHALL BE RETURNED UPON REQUEST. ITS CONTENTS MUST NOT BE COPIED OR DISCLOSED TO OUTSIDE BIDDERS, CONTRACTORS OR MANUFACTURERS.

CID associates, inc.
750 Ekastown Road
Savert, Pa 16055
voice: 724-353-0300
fax: 1 724-353-0306
E-mail: sales@cidbuildings.com
www.cidbuildings.com

Siemens Industry, Inc.
DRIVE TECHNOLOGIES DIVISION
LARGE DRIVE APPLICATIONS
CID "STATE OF THE ART" L1R1000 ENCLOSURE
FLOOR PLAN, DOOR SCHEDULE
and EXTERIOR ELEVATIONS





PAINT SPEC. BASE and ROOFTOP

- COMMERCIAL SAND BLAST
- APPLY 1 PRIMER COAT MACRO EPOXY S-M 646
- APPLY 1 COAT ACCOLON ULTRA COLOR WHITE

**2017/SMA-24
EXHIBIT A-6**

"THIS DOCUMENT IS CONFIDENTIAL INFORMATION OF CID ASSOCIATES SUBJECT TO THE MUTUAL NONDISCLOSURE AGREEMENT BETWEEN CID ASSOCIATES AND THE DRIVE TECHNOLOGIES DIVISION OF SIEMENS INDUSTRY, INC."

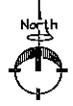
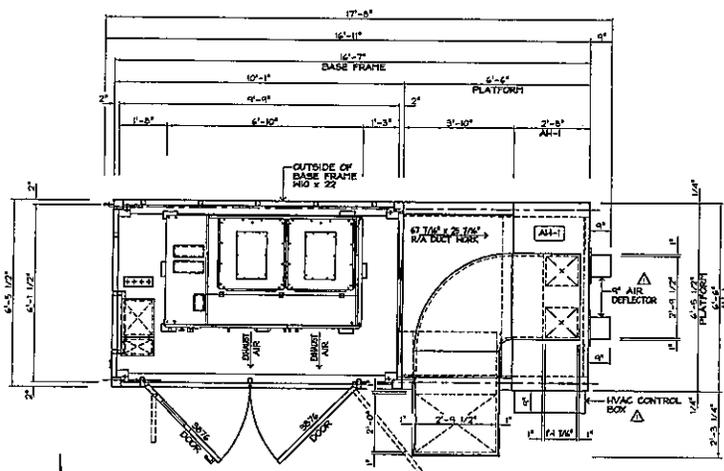
REV	DATE	REMARKS
5	FEB. 2014	ADDED EXHAUST AIR NOTE, NOTED HVAC CONTROL CONDUIT ACCESS, REV'D CO. OF SKID PLATE HOLES NOTED DIRECTION OF SECT. THRU BLDG.

GENERAL TERMS AND CONDITIONS OF C.I.D. PROPOSAL/CONTRACT WILL PREVAIL IN ALL MATTERS. C.I.D. WILL NOT ACCEPT ANY LIABILITY AS TO PRODUCT IF CHANGES ON DRAWINGS ARE MADE WITHOUT AUTHORIZATION AND APPROVAL OF C.I.D.
THIS PRINT IS OWNED BY C.I.D. ASSOCIATES, INC. AND SHALL BE RETURNED UPON REQUEST. ITS CONTENTS MUST NOT BE COPIED OR DISCLOSED TO OUTSIDE PARTIES, CONTRACTORS OR MANUFACTURERS.

CID associates, inc.
730 Ekstoun Road
Savner, Pa 16065
voice: 724-353-0900
fax: 724-353-0306
E-mail: info@cidbuildings.com
www.cidbuildings.com

Siemens Industry, Inc.
DRIVE TECHNOLOGIES DIVISION
LARGE DRIVE APPLICATIONS
CID "STATE OF THE ART" LIBRABLE ENCLOSURE SECTION THRU BUILDING
371433-02

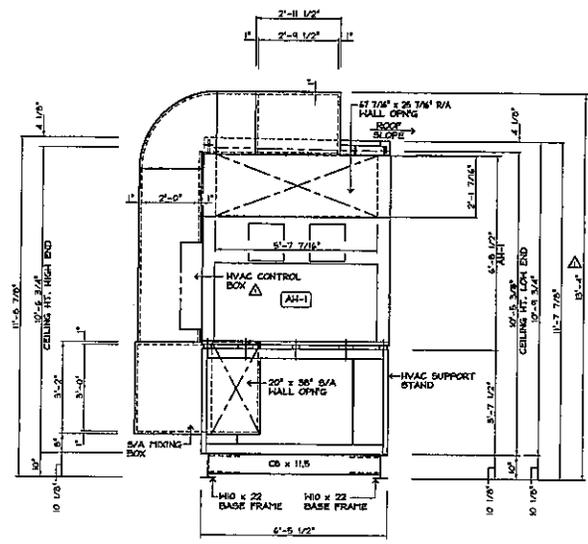
Plot 8 FEB. 2014



HVAC PLAN
SCALE 1/2" = 1'-0"

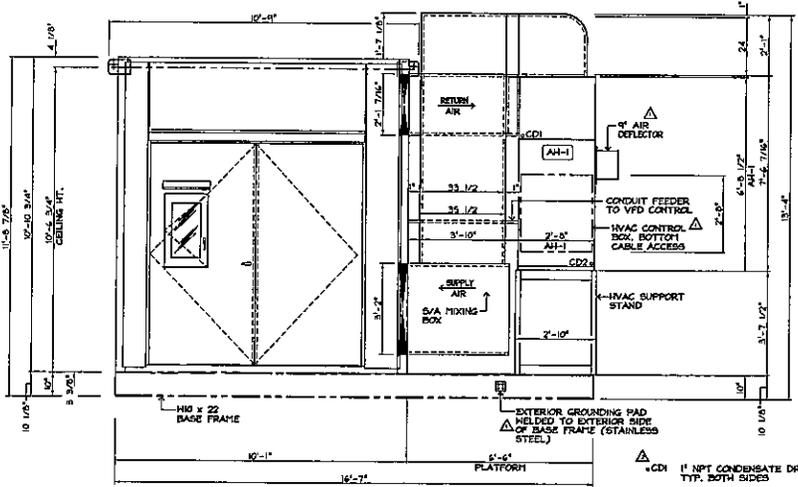
ADJUST DOOR CLOSER TO LIMIT DOOR SWING DUE TO HVAC S/A DUCTWORK (PROVIDE DOOR STOP ON DUCTWORK)

ALL DUCTWORK TO BE INSULATED ON INTERIOR SIDE OF DUCT
 ALL DUCTWORK TO BE FABRICATED FROM #30 GALVANIZED SHEET 20 GA GALVANIZED DUCT PLUNGES NUTS/BOLTS/CORNERS AND CLEATS GALVANIZED TURNING VANES 1" STANDARD DUCT LINER CUSTOM MEASURE



EAST WALL HVAC EXTERIOR ELEVATION
SCALE 1/2" = 1'-0"

HVAC STRUCTURE SAME PAINT COLOR AS ENCLOSURE, WHITE



SOUTH WALL HVAC EXTERIOR ELEVATION
SCALE 1/2" = 1'-0"

CD1 IF NPT CONDENSATE DRAIN TYP. BOTH SIDES
 CD2 IF NPT CONDENSATE DRAIN TYP. BOTH SIDES

2017/SMA-24
EXHIBIT A-7

THIS DOCUMENT IS CONFIDENTIAL INFORMATION OF CID ASSOCIATES SUBJECT TO THE MUTUAL NONDISCLOSURE AGREEMENT BETWEEN CID ASSOCIATES AND THE DRIVE TECHNOLOGIES DIVISION OF SIEMENS INDUSTRY, INC.

6 FEB 2014	REV	DATE	REMARKS
6 FEB 2014	1		LIMIT SWING OF INACTIVE DOOR, LOCATED HVAC CONDENSATE DRAINS
6 FEB 2014	2		NOTED DUCTWORK TO BE GALV. REV'D HT. OF S/A DUCT, ADDED HVAC CONTROL BOX, ADDED GND. PAD TO SOUTH SIDE OF PLATFORM, NOTED HVAC PAINT COLOR.

GENERAL TERMS AND CONDITIONS OF C.I.D. PROPOSAL/CONTRACT SHALL PREVAIL IN ALL MATTERS. C.I.D. SHALL NOT ACCEPT ANY LIABILITY AS TO PROJECT IF CHANGES ON DRAWINGS ARE MADE WITHOUT AUTHORIZATION AND APPROVAL OF C.I.D. THIS PRINT IS OWNED BY C.I.D. ASSOCIATES, INC. AND SHALL BE RETURNED UPON REQUEST. ITS CONTENTS MUST NOT BE COPIED OR DISCLOSED TO OUTSIDE BIDDERS, CONTRACTORS OR MANUFACTURERS.

730 Ecostown Road
 Sarver, Pa 16055
 voice: 724-353-0300
 fax: 1-724-353-0300
 e-mail: sales@cidbuildings.com
 www.cidbuildings.com

Siemens Industry, Inc.
 DRIVE TECHNOLOGIES DIVISION
 LARGE DRIVE APPLICATIONS
 CID "STATE OF THE ART" LINEAR ENCLOSURE
 HVAC PLAN VIEW
 HVAC EXTERIOR ELEVATIONS

371433-H1

Remove

MAKAI

BOILER HOUSE
BELOW

MAUKA WALL OF BOILER PLANT

WAIKIKI

EWA

LEGEND

--- SURFACE MOUNTED CONDUIT

--- PREVIOUSLY INSTALLED CONDUIT TO BE REMOVED

--- CONDUIT TO BE INSTALLED FROM THE TOP

REFERENCE DWG.'S:

1-17010 ELECTRICAL LAYOUT - ELEVATIONS

1-17011 ELECTRICAL LAYOUT - SECTIONS

1-17012 FOUNDATION PLAN

1-11002 STRUCTURAL STEEL PLAN & SECTIONS

1-11004 STRUCTURAL STEEL SECTIONS & DETAILS

1-17009 MATERIAL LIST & DETAILS

1-17005 PLAN VIEW - WAIKIKI STACK-UP TRANS.

7-7503 ELECTRICAL D.P.A. SECTIONS

FOR DETAILS OF SELECTED SUPPORT & MOUNTING PLAN, SEE DWG. S-17015

PLAN VIEW

46 KV TO SWITCHING STATION

NO.	DATE	REVISION	INITIALS	NO.	DATE	REVISION	INITIALS
1	1/21/74	ISSUED FOR PERMIT	JER	1	1/21/74	ISSUED FOR PERMIT	JER
2	1/21/74	ISSUED FOR PERMIT	JER	2	1/21/74	ISSUED FOR PERMIT	JER
3	1/21/74	ISSUED FOR PERMIT	JER	3	1/21/74	ISSUED FOR PERMIT	JER
4	1/21/74	ISSUED FOR PERMIT	JER	4	1/21/74	ISSUED FOR PERMIT	JER
5	1/21/74	ISSUED FOR PERMIT	JER	5	1/21/74	ISSUED FOR PERMIT	JER
6	1/21/74	ISSUED FOR PERMIT	JER	6	1/21/74	ISSUED FOR PERMIT	JER
7	1/21/74	ISSUED FOR PERMIT	JER	7	1/21/74	ISSUED FOR PERMIT	JER
8	1/21/74	ISSUED FOR PERMIT	JER	8	1/21/74	ISSUED FOR PERMIT	JER
9	1/21/74	ISSUED FOR PERMIT	JER	9	1/21/74	ISSUED FOR PERMIT	JER
10	1/21/74	ISSUED FOR PERMIT	JER	10	1/21/74	ISSUED FOR PERMIT	JER
11	1/21/74	ISSUED FOR PERMIT	JER	11	1/21/74	ISSUED FOR PERMIT	JER
12	1/21/74	ISSUED FOR PERMIT	JER	12	1/21/74	ISSUED FOR PERMIT	JER
13	1/21/74	ISSUED FOR PERMIT	JER	13	1/21/74	ISSUED FOR PERMIT	JER
14	1/21/74	ISSUED FOR PERMIT	JER	14	1/21/74	ISSUED FOR PERMIT	JER
15	1/21/74	ISSUED FOR PERMIT	JER	15	1/21/74	ISSUED FOR PERMIT	JER
16	1/21/74	ISSUED FOR PERMIT	JER	16	1/21/74	ISSUED FOR PERMIT	JER
17	1/21/74	ISSUED FOR PERMIT	JER	17	1/21/74	ISSUED FOR PERMIT	JER

2017/SMA-24
EXHIBIT A-9

DATE: 1/21/74

DESIGNED BY: JER

CHECKED BY: JER

APPROVED BY: JER

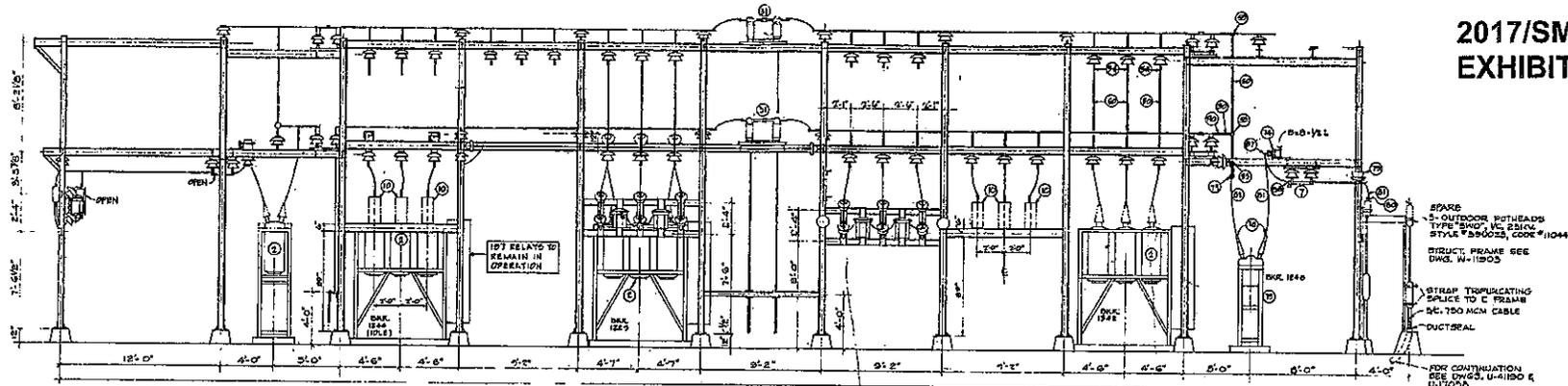
SCALE: 1/4" = 1'-0"

ELECTRICAL LAYOUT
PLAN VIEW - BANKS 1 & 2
WAIKIKI SUBSTATION

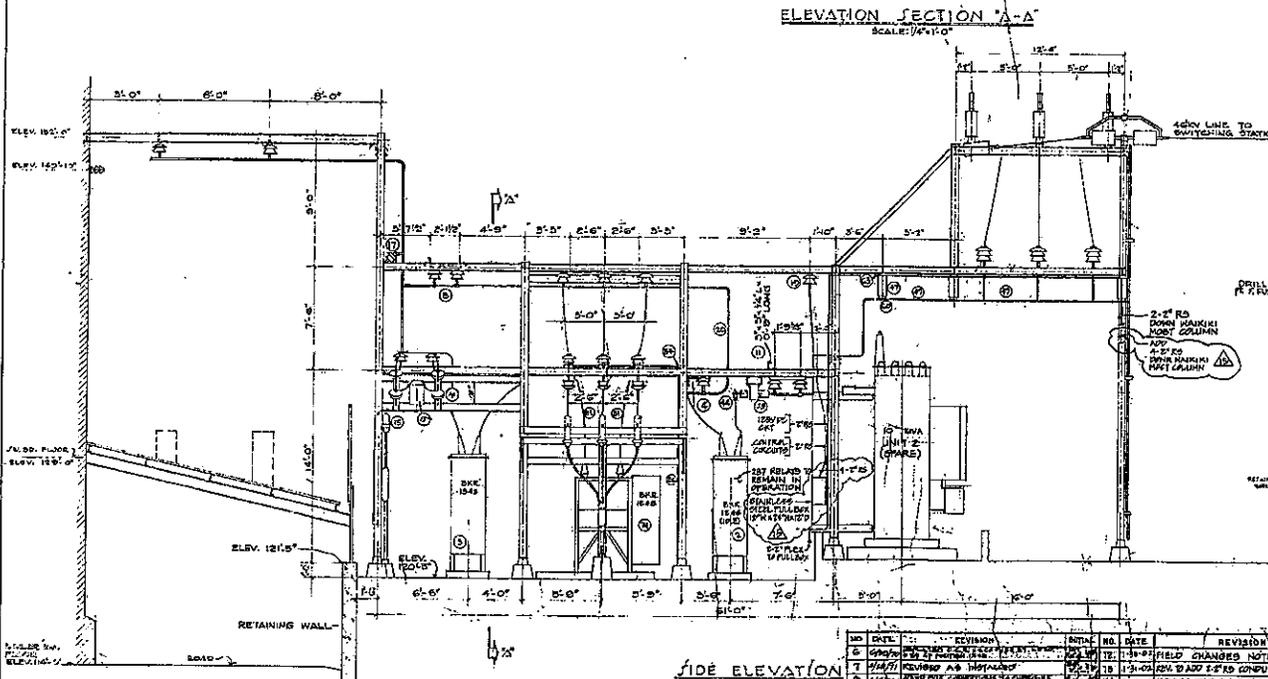
ENGINEERING DEPARTMENT
THE HAWAIIAN ELECTRIC COMPANY, LTD.
HONOLULU, HAWAII

S-17018

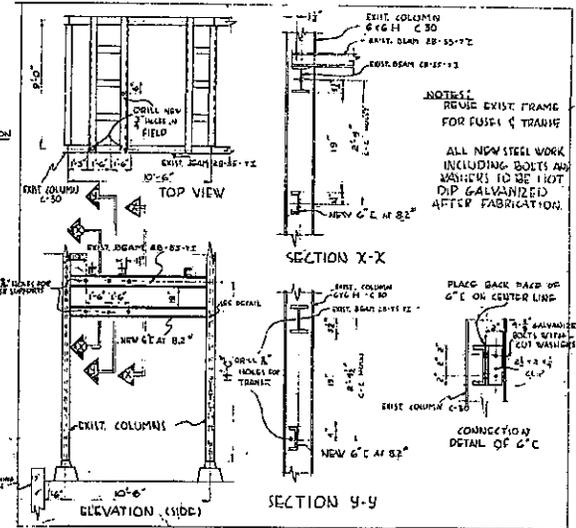
2017/SMA-24
EXHIBIT A-10



ELEVATION SECTION "A-A"
SCALE: 3/4" = 1'-0"



SIDE ELEVATION
SCALE: 3/4" = 1'-0"



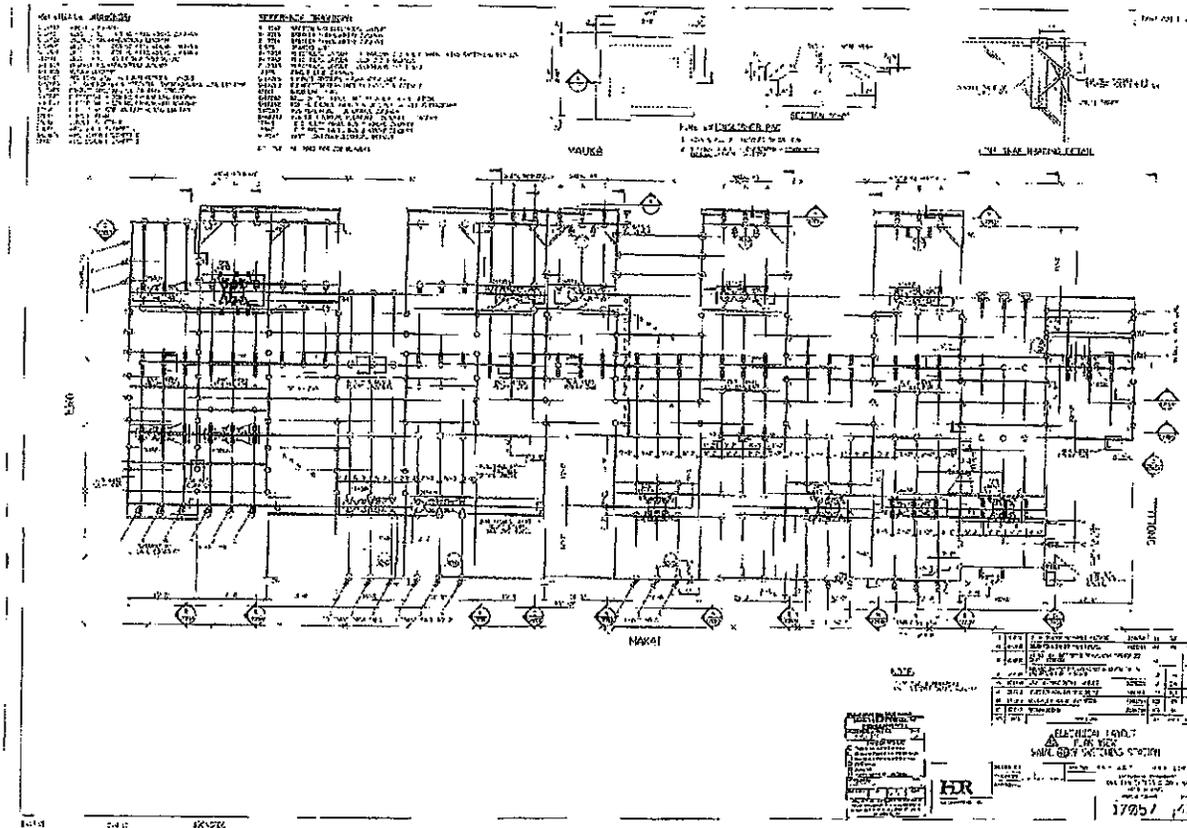
REFERENCE DWGS:
S-17016 FOUNDATION PLAN - BANKS #1 & #2
S-17018 ELECTRICAL LAYOUT - PLAN VIEW - BANKS #1 & #2
S-17067 SECTIONS - BANKS #1 & #2
S-17068 MATERIAL LIST & DETAILS - BANKS #1 & #2

NO.	DATE	REVISION	INITIALS	SCALE AS SHOWN	DATE	NOV 5, 1930
1	11-10-30	FIELD CHANGES NOTED	JW	AS SHOWN		
2	11-10-30	REVISED PER NO. 1	JW	AS SHOWN		
3	11-10-30	REVISED PER NO. 2	JW	AS SHOWN		
4	11-10-30	REVISED PER NO. 3	JW	AS SHOWN		
5	11-10-30	REVISED PER NO. 4	JW	AS SHOWN		
6	11-10-30	REVISED PER NO. 5	JW	AS SHOWN		
7	11-10-30	REVISED PER NO. 6	JW	AS SHOWN		
8	11-10-30	REVISED PER NO. 7	JW	AS SHOWN		
9	11-10-30	REVISED PER NO. 8	JW	AS SHOWN		
10	11-10-30	REVISED PER NO. 9	JW	AS SHOWN		
11	11-10-30	REVISED PER NO. 10	JW	AS SHOWN		

**ELECTRICAL LAYOUT
ELEVATIONS - BANKS 1 & 2
WAI'AU SUBSTATION**
ENGINEERING DEPARTMENT
THE HAWAIIAN ELECTRIC COMPANY, LTD.
HONOLULU, HAWAII
S-17019

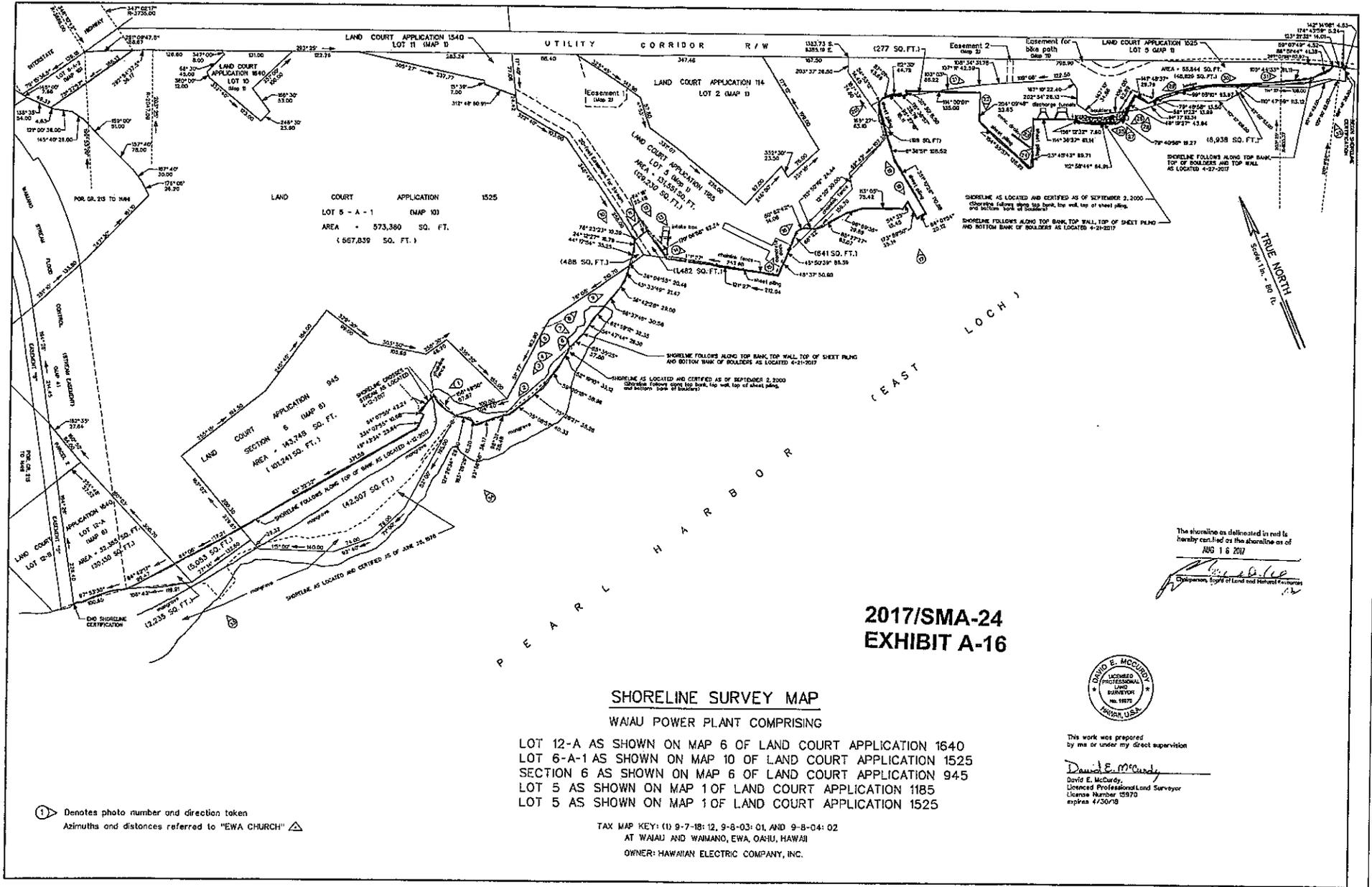
46kV Layout Options

Existing 46kV AIS Site Layout



2017/SMA-24
EXHIBIT A-12





**2017/SMA-24
EXHIBIT A-16**

SHORELINE SURVEY MAP

WAIU POWER PLANT COMPRISING

- LOT 12-A AS SHOWN ON MAP 6 OF LAND COURT APPLICATION 1640
- LOT 6-A-1 AS SHOWN ON MAP 10 OF LAND COURT APPLICATION 1525
- SECTION 6 AS SHOWN ON MAP 6 OF LAND COURT APPLICATION 945
- LOT 5 AS SHOWN ON MAP 1 OF LAND COURT APPLICATION 1185
- LOT 5 AS SHOWN ON MAP 1 OF LAND COURT APPLICATION 1525

TAX MAP KEY: (1) 9-7-18; 12, 9-8-03; 01, AND 9-8-04; 02
AT WAIU AND WAIMANO, EWA, OAHU, HAWAII
OWNER: HAWAIIAN ELECTRIC COMPANY, INC.

The shoreline as delineated in red is
hereby certified as the shoreline as of
AUG 16 2017

David E. McCurdy
Chairperson, Board of Land and Natural Resources



This work was prepared
by me or under my direct supervision

David E. McCurdy
David E. McCurdy,
Licensed Professional Land Surveyor
License Number 15970
expires 4/30/19

(1) Denotes photo number and direction taken
Azimuths and distances referred to "EWA CHURCH" Δ



RESOLUTION

GRANTING A SPECIAL MANAGEMENT AREA USE PERMIT TO THE HAWAIIAN ELECTRIC COMPANY, INC., FOR A VARIETY OF MINOR PROJECTS AT ITS WAIU GENERATING STATION.

WHEREAS, on August 22, 2017, the Department of Planning and Permitting ("DPP") accepted the application (2017/SMA-24) of the Hawaiian Electric Company, Inc. ("Applicant") for a Special Management Area ("SMA") Use Permit for a variety of minor Projects at its Waiau Generating Station, phased over the next ten years to replace, upgrade, remove, and add facilities on land zoned I-2 Intensive Industrial District, located at 475 Kamehameha Highway, and identified as Tax Map Key 9-8-003: 001 and 010; 9-7-018: 012; and 9-8-004: 002 and 003 ("Project"); and

WHEREAS, on October 4, 2017, the DPP held a public hearing which was attended by the Agent, representatives of the Applicant, three DPP staff members; and approximately 30 members of the public; and

WHEREAS, on January 9, 2018, the DPP, having duly considered all evidence and the objectives, policies, and guidelines, as established in Sections 25-3.1 and 25-3.2, completed its report and transmitted its findings and recommendation of approval to the City Council; and

WHEREAS, the City Council, having received the findings and recommendation of the DPP on _____, by Departmental Communication No. _____, and having duly considered all of the findings and reports on the matter, desires to approve the subject application for an SMA Use Permit and Waiver with the conditions enumerated below; now, therefore,

BE IT RESOLVED by the Council of the City and County of Honolulu that an SMA Use Permit and Waiver be issued to the Applicant for the Project, subject to the following conditions:

- A. Construction must be in conformity with the Projects as described in the Department of Planning and Permitting's findings and recommendation, referenced above, and as depicted in Exhibits A-1 through A-16, attached hereto and incorporated herein. Any change in the size or nature of the Project that has a significant effect on coastal resources, addressed by the Revised Ordinances of Honolulu (ROH) Chapter 25 or Hawaii Revised Statutes (HRS) Chapter 205A, or both, will require a new application and SMA Use Permit. Any change that



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

RESOLUTION

does not have a significant effect on coastal resources will be considered a minor modification and therefore permitted under this resolution, upon review and approval by the DPP Director.

- B. If, during construction, any previously unidentified archaeological sites or remains (such as artifacts, shell, bone, or charcoal deposits, human burials, rock or coral alignments, pavings, or walls) are encountered, the Applicant shall stop work and contact the State Historic Preservation Division (SHPD) immediately. Work in the immediate area shall be stopped until the SHPD is able to assess the impact and make further recommendations for mitigative activity.
- C. Artificial light from the proposed perimeter fence lighting, including but not necessarily limited to floodlights or spotlights used for decorative or aesthetic purposes, is prohibited if the light directly illuminates, or is directed across property boundaries toward the shoreline, ocean waters, and sky, except as may otherwise be permitted pursuant to Section 205A-71(b), HRS.
- D. All site work and/or construction activities shall be limited to daylight hours only.
- E. The Applicant shall implement Best Management Practices (BMPs) to control erosion and sedimentation. The grading and development permit applications shall detail the BMPs.
- F. The Applicant shall obtain the initial development permits for the proposed Projects within two years of the date of this permit.
- G. Approval of this SMA Use Permit does not constitute compliance with other Land Use Ordinance (LUO) or other governmental requirements, including grading and grubbing permit approvals. They are subject to separate review and approval. The Applicant will be responsible for insuring that the final plans for the Project approved under this SMA Use Permit comply with all applicable LUO and other governmental provisions and requirements.



CITY COUNCIL
CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

RESOLUTION

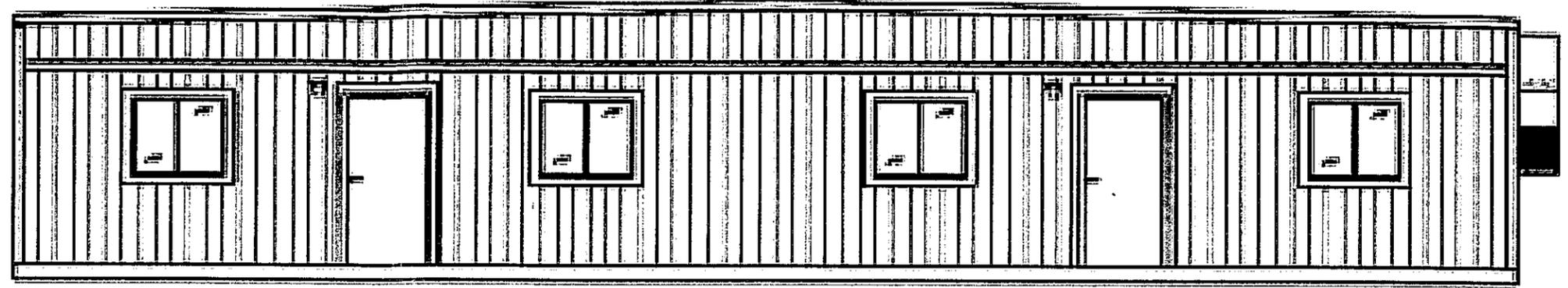
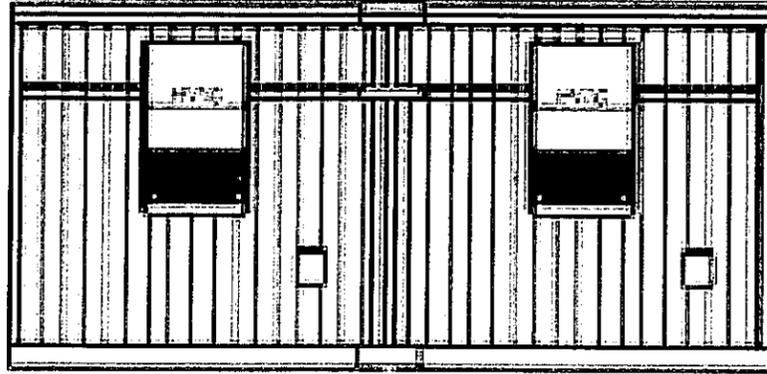
BE IT FINALLY RESOLVED that copies of this Resolution be transmitted to Kathy K. Sokugawa, Acting Director of the Department of Planning and Permitting, 650 South King Street, 7th Floor, Honolulu, Hawaii 96813; Rouen Q. W. Liu, Hawaiian Electric Company, Inc., P.O. Box 2750, Honolulu, Hawaii 96840-0001; Makena White, Planning Solutions, 210 Ward Avenue, Suite 330, Honolulu, Hawaii 96814-4012.

INTRODUCED BY:

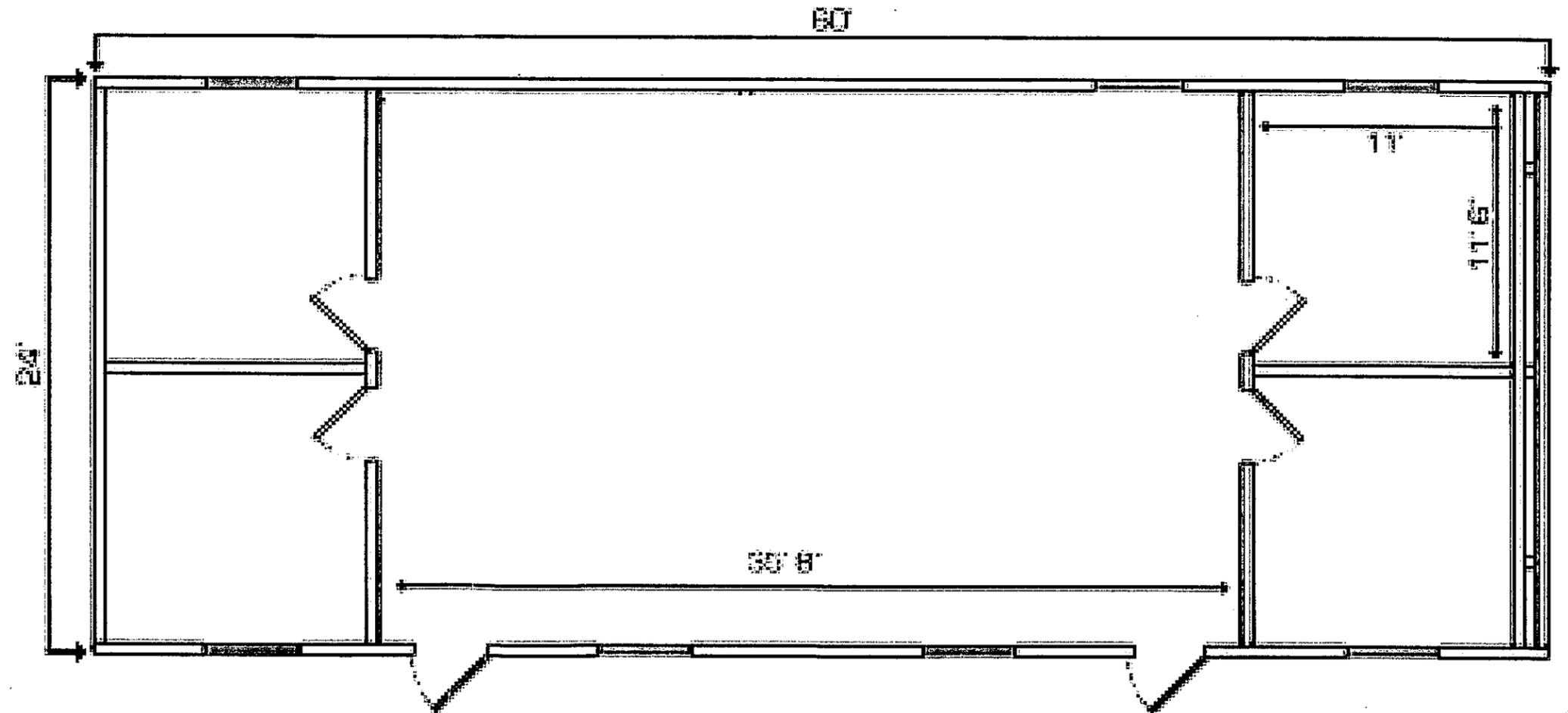
DATE OF INTRODUCTION:

Honolulu, Hawaii

Councilmembers

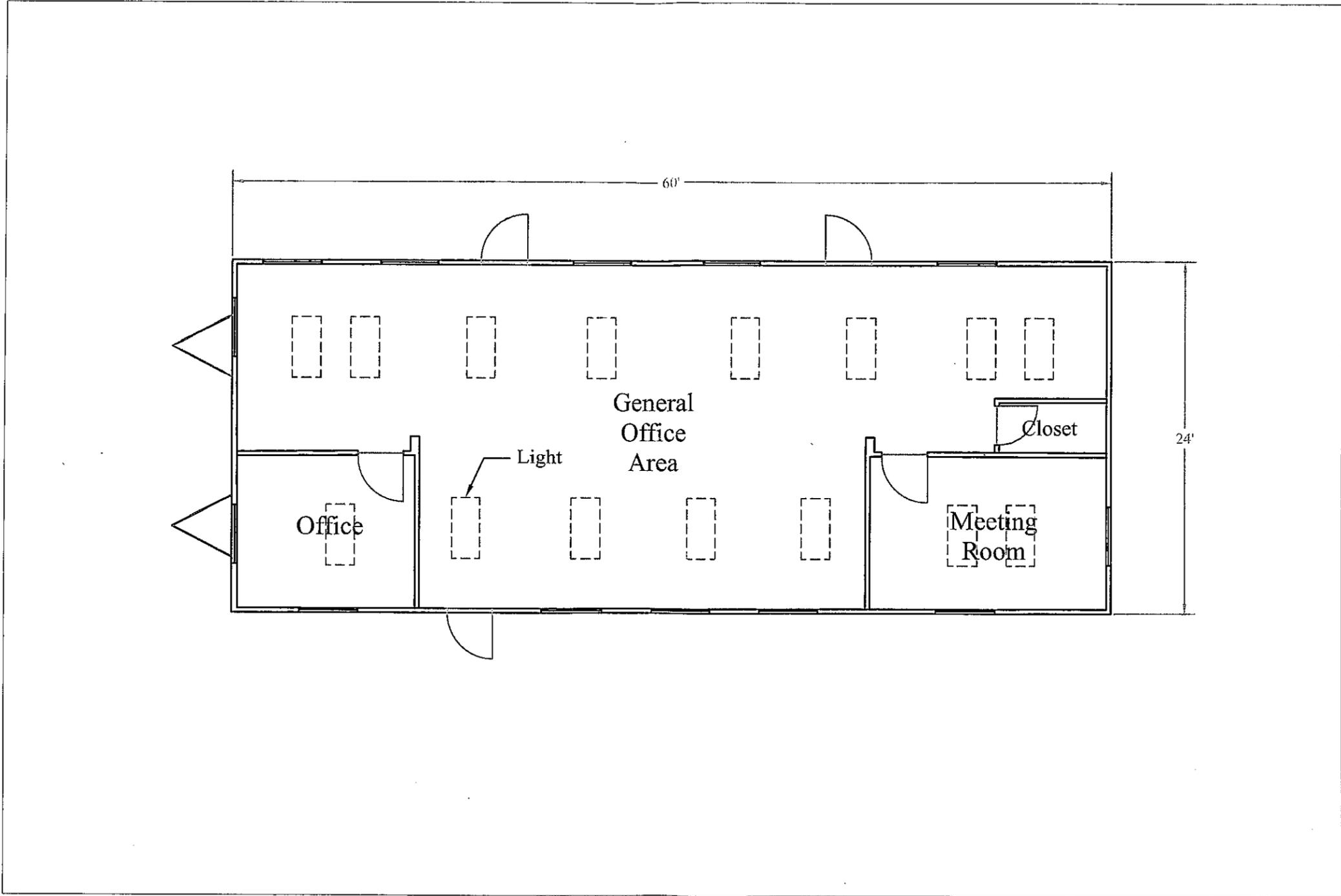


- 1440 square feet of office space
- Four private offices
- Generous office space for 10 - 13 people.
- Central heating and air conditioning
- Constructed with a steel H-beam outrigger chassis
- Carpet ready flooring offers an almost maintenance free office building.
- Upgraded interior wall coverings and wood siding provides for a professional appearance.
- Buildings are completely insulated



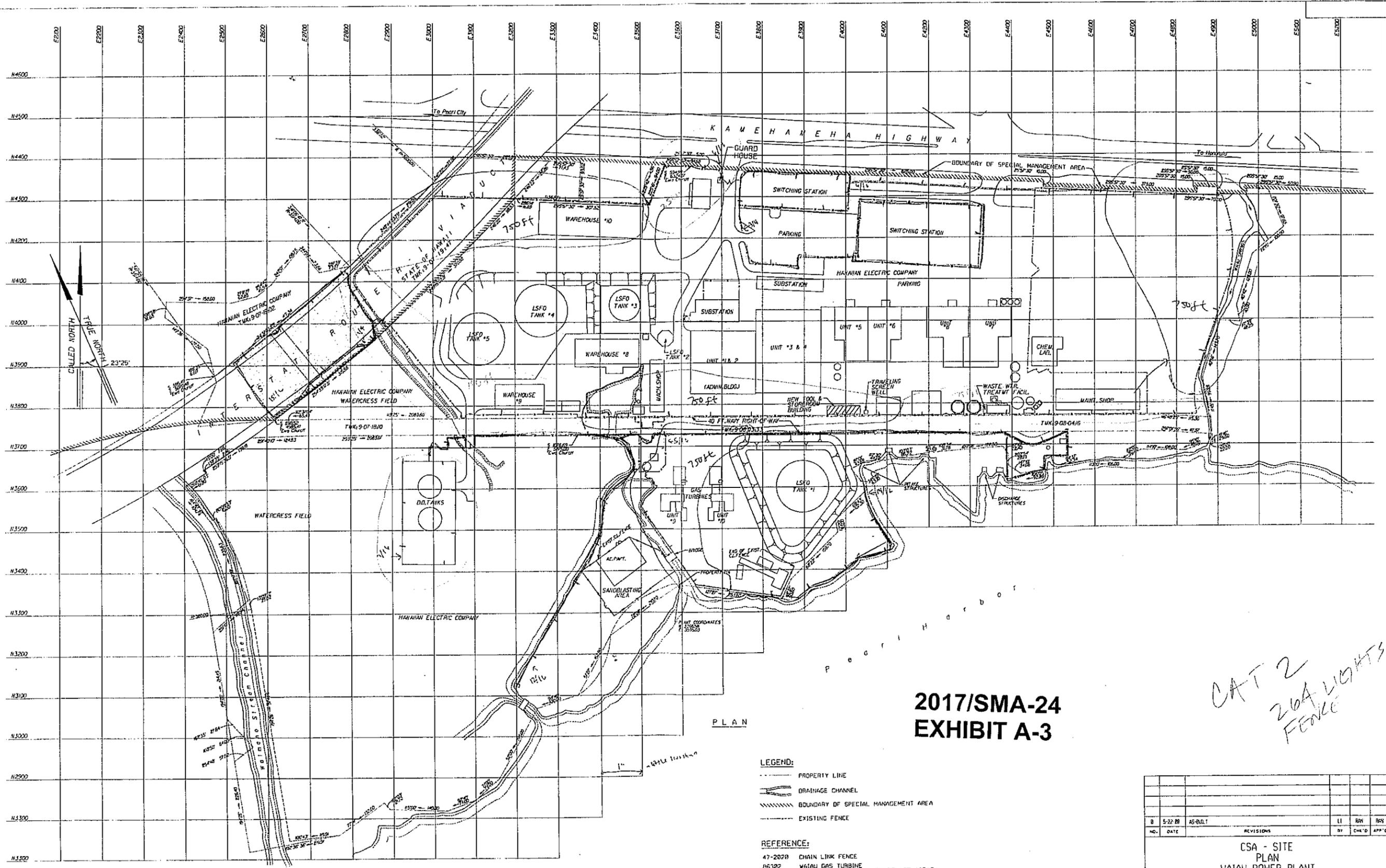
2017/SMA-24
EXHIBIT A-1

Handwritten signature



Waiiau Generating Station - 24x60 Trailer

Handwritten signature



**2017/SMA-24
EXHIBIT A-3**

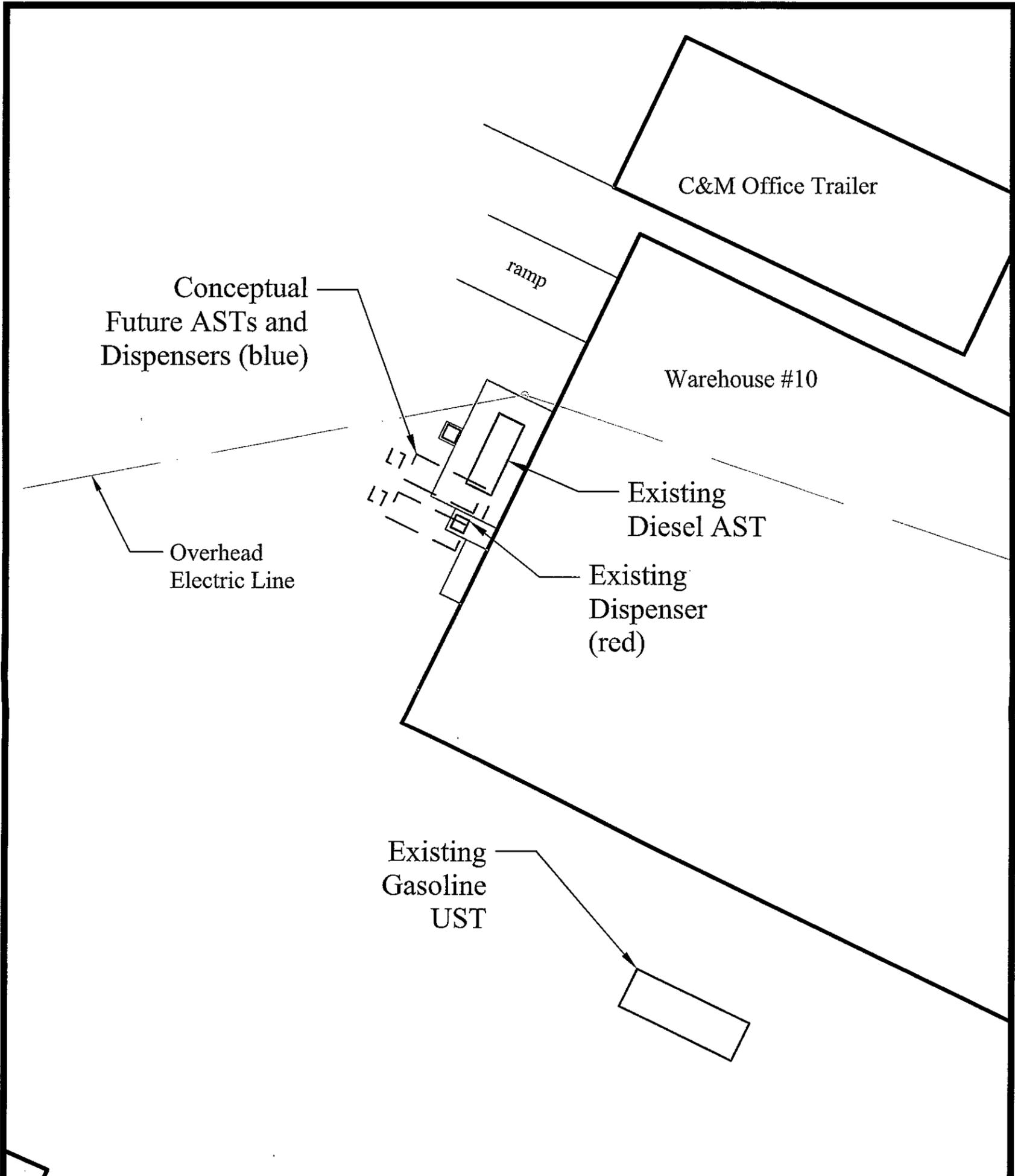
*CAT 2
264 LIGHTS
FENCE*

PLAN

- LEGEND:**
- PROPERTY LINE
 - DRAINAGE CHANNEL
 - BOUNDARY OF SPECIAL MANAGEMENT AREA
 - EXISTING FENCE

- REFERENCE:**
- 47-2070 CHAIN LINK FENCE
 - 86382 WAI'AU GAS TURBINE AND NEW SANDBLAST AREAS LAYOUT, GRADING, FENCING & PAVING WAI'AU POWER PLANT
 - 780720 CSA - UNITS 9 & 10 FENCE PLAN WAI'AU POWER PLANT
 - 780721 CSA - UNITS 9 & 10 FENCE SECTIONS WAI'AU POWER PLANT

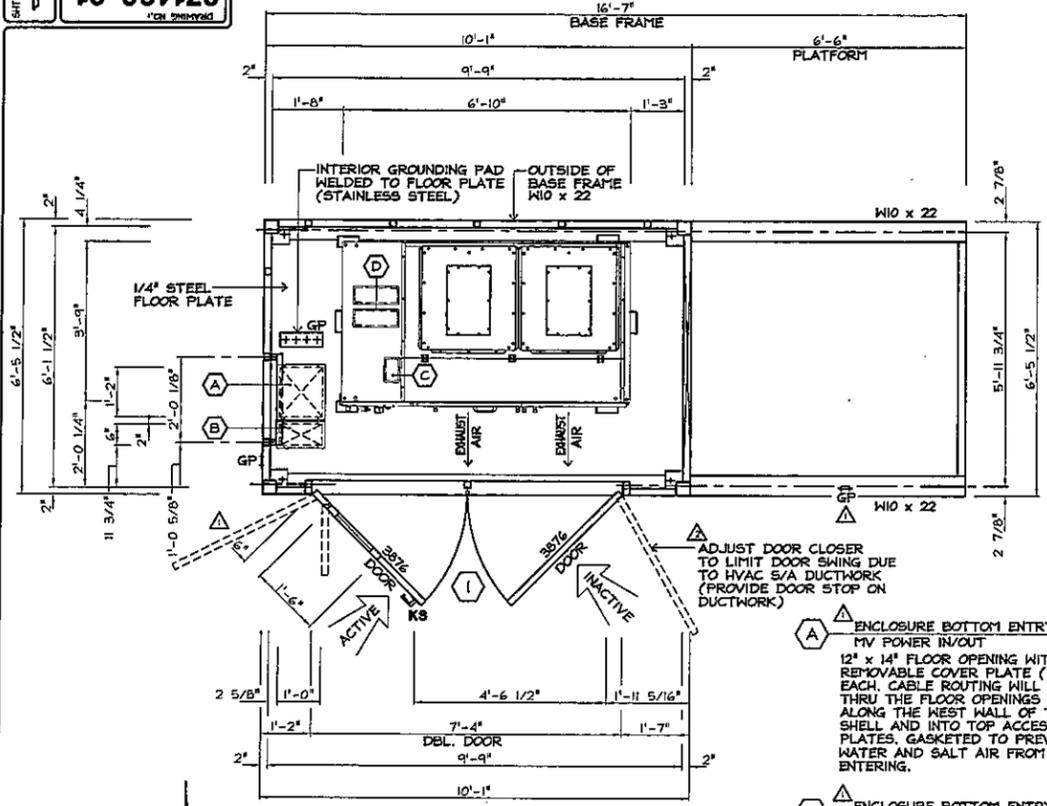
NO.	DATE	REVISIONS	BY	CHK'D	APP'D
B	5-22-88	AS-BUILT	LI	RW	BN
CSA - SITE PLAN WAI'AU POWER PLANT					
DESIGNED	ROY ALON	DATE	7-11-91	SCALE	1"=100'-0"
CHECKED	ELEC. MCH. 1356	ENGINEERING DEPARTMENT HAWAIIAN ELECTRIC CO., INC. HONOLULU, HAWAII			
APPROVAL					DRAWING NUMBER
					700722
					0



VEHICLE FUEL AREA		
HECO Waiiau Generating Station		
Job No.	Date	Figure 1

**2017/SMA-24
EXHIBIT A-4**

Handwritten notes:
 07-2



- A** ENCLOSURE BOTTOM ENTRY
MV POWER IN/OUT
12" x 14" FLOOR OPENING WITH REMOVABLE COVER PLATE (1) EACH. CABLE ROUTING WILL BE THRU THE FLOOR OPENINGS ALONG THE WEST WALL OF THE SHELL AND INTO TOP ACCESS PLATES, GASKETED TO PREVENT WATER AND SALT AIR FROM ENTERING.
- B** ENCLOSURE BOTTOM ENTRY
LV POWER AND CONTROL
12" x 6" FLOOR OPENING WITH REMOVABLE COVER PLATE (1) EACH. CABLE ROUTING WILL BE THRU THE FLOOR OPENINGS ALONG THE WEST WALL OF THE SHELL AND INTO TOP ACCESS PLATES, GASKETED TO PREVENT WATER AND SALT AIR FROM ENTERING.
- C** VFD TOP ENTRY LV POWER AND CONTROL
- D** VFD TOP ENTRY MV POWER IN/OUT

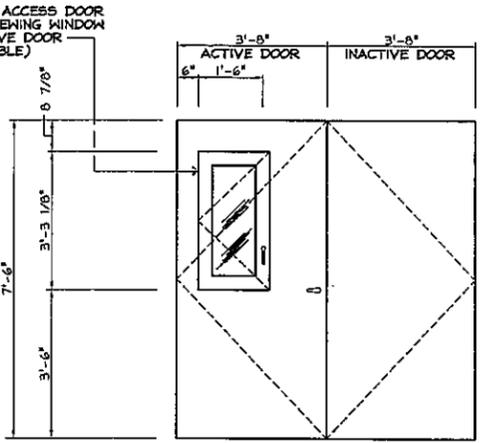
DOOR SCHEDULE

NO.	SIZE	FRAME MAT'L	FRAME TYPE	DOOR MAT'L	DOOR TYPE	HDWR	HAND	REMARKS
1	7476			18 GA. STEEL	M	H-1	LHRA	PAINT TO MATCH ADJ. WALL SURFACE

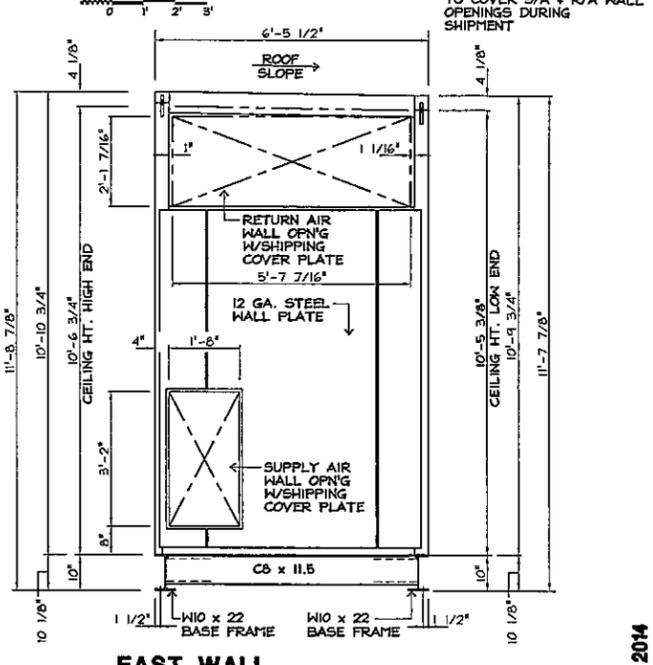
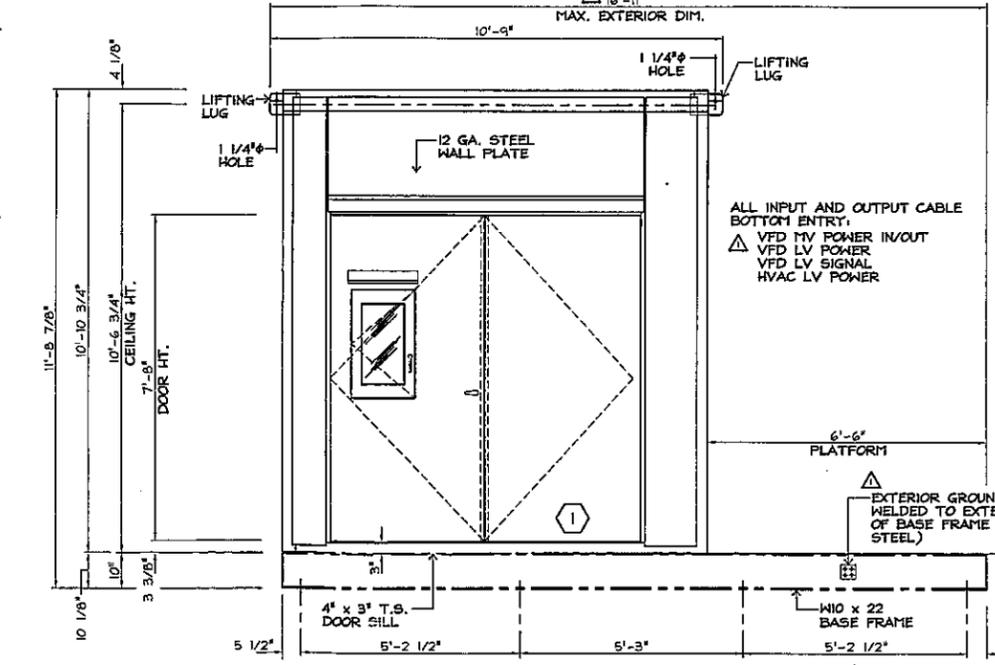
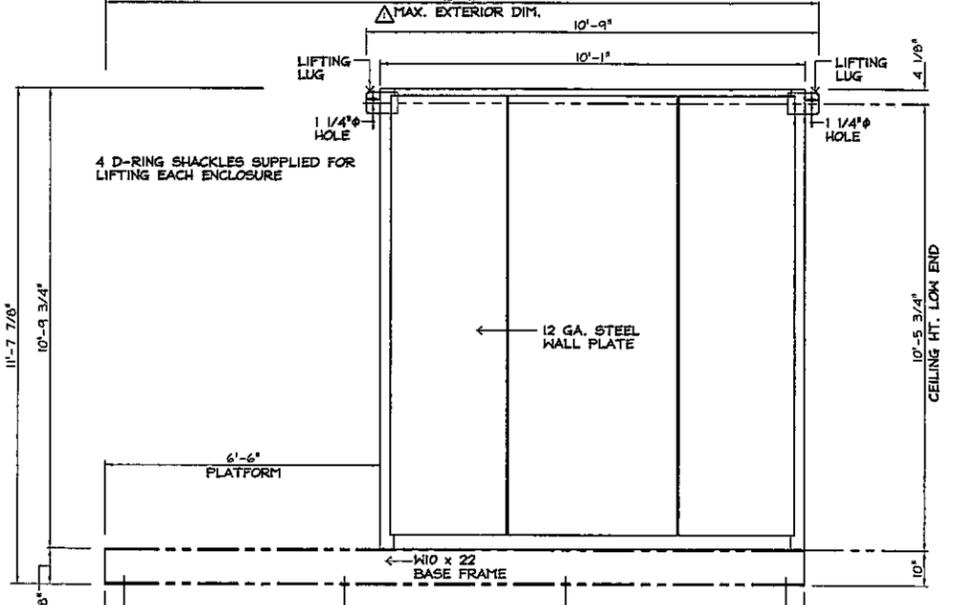
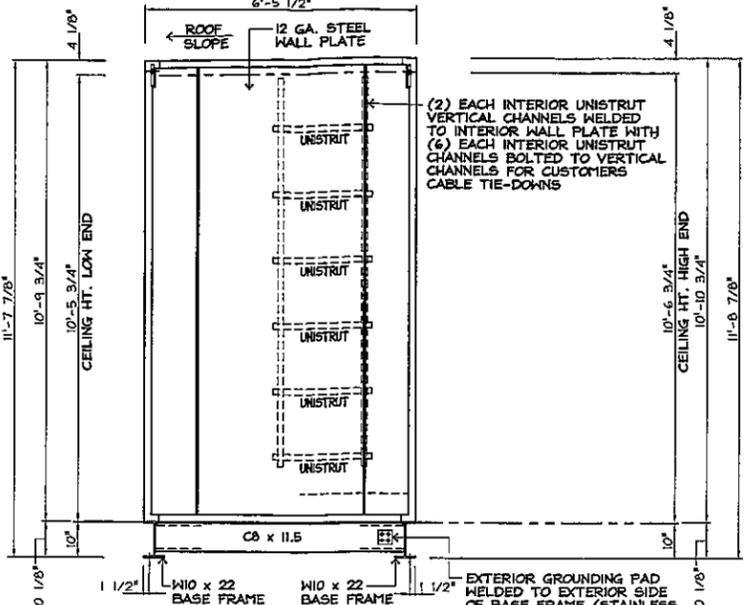
- ACTIVE DOOR**
- CYLINDER LOCKSET
 - DORMA CLOSER 6900
 - PEMKO 185AP THRESHOLD WITH LIP & PILE (REMOVABLE)
 - GASKETTING, SIDE & HEAD
 - MULLION, REMOVABLE
- INACTIVE DOOR**
- PEMKO 185AP THRESHOLD WITH LIP & PILE (REMOVABLE)
 - GASKETTING, SIDE & HEAD
 - TOP & BOTTOM DEAD BOLTS

DOORS TO BE AS MFG. BY:
OPENINGS
TOTAL DOOR SYSTEMS
40 WEST HOWARD
PONTIAC, MI 48342-1220

DOORS TO BE INSULATED
COLOR OF DOOR TO BE TOTAL DOOR GRAY



2017/SMA-24 EXHIBIT A-5



ONE WEIGHT CLASSES

- EQUIPMENT NO. 1 82" WIDTH
- ▲ BLDG. PLATED INSIDE & OUT - 6,400.00
 - EQUIPMENT WEIGHT - 11,920.00
 - SKID WEIGHT - 1,775.00
 - HVAC - 1,700.00
 - PORCH SKID - 1,200.00
 - DUCTWORK - 800.00
- 23,795.00 ± lbs ▲
or 5,949.00 lbs/LUG

REV	DATE	REMARKS
6	FEB 2014	ADDED DOOR MULLION TO FLOOR PLAN. LIMIT SWING OF INACTIVE DOOR
5	FEB 2014	NOTED INPUT & OUTPUT CABLE ENTRY. ADDED GND. PAD TO SOUTH PLATFORM. PROVIDE HDWR FOR ALL GND PADS. NOTED MAX EXT. DIM. SHOW FULL DOOR SWING. ADDED COVERS FOR S/A & R/A OPENINGS.

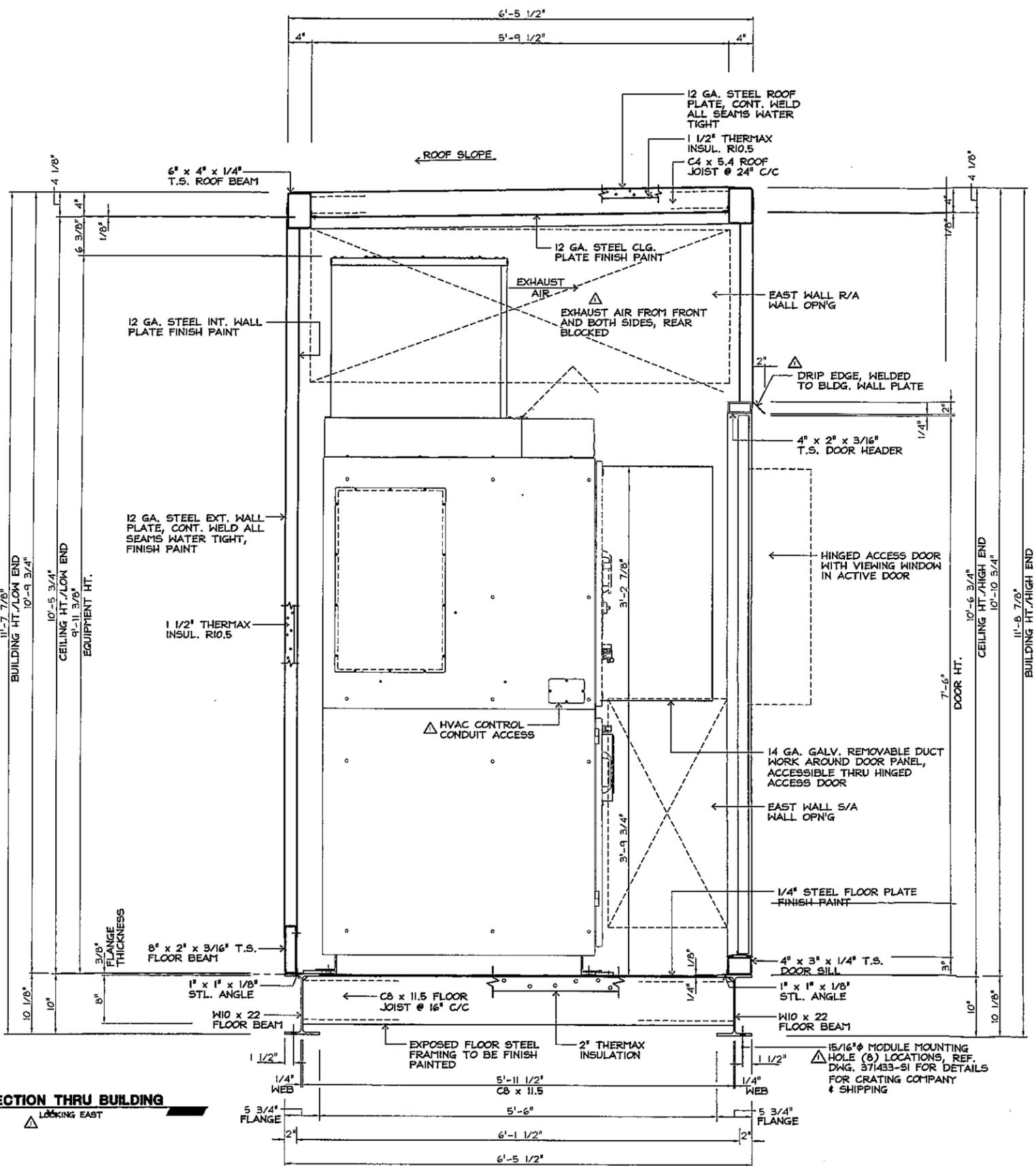
THIS DOCUMENT IS CONFIDENTIAL INFORMATION OF CID ASSOCIATES SUBJECT TO THE MUTUAL NONDISCLOSURE AGREEMENT BETWEEN CID ASSOCIATES AND THE DRIVE TECHNOLOGIES DIVISION OF SIEMENS INDUSTRY, INC.

GENERAL TERMS AND CONDITIONS OF C.I.D. PROPOSAL/CONTRACT WILL PREVAIL IN ALL MATTERS. C.I.D. WILL NOT ACCEPT ANY LIABILITY AS TO PRODUCT IF CHANGES ON DRAWINGS ARE MADE WITHOUT AUTHORIZATION AND APPROVAL OF C.I.D.
THIS PRINT IS OWNED BY C.I.D. ASSOCIATES, INC. AND SHALL BE RETURNED UPON REQUEST. ITS CONTENTS MUST NOT BE COPIED OR DISCLOSED TO OUTSIDE BIDDERS, CONTRACTORS OR MANUFACTURERS.

associates, inc.
750 Ekastown Road
Sarver, Pa 16055
voice: 724-353-0300
fax: 724-353-0308
E-mail: sales@cidbuildings.com
www.cidbuildings.com

Siemens Industry, Inc.
DRIVE TECHNOLOGIES DIVISION
LARGE DRIVE APPLICATIONS
CID "STATE OF THE ART" LIFTABLE ENCLOSURE
FLOOR PLAN, DOOR SCHEDULE
and EXTERIOR ELEVATIONS

371433-01



PAINT SPEC. BASE and ROOFTOP
 • COMMERCIAL SAND BLAST
 • APPLY 1 PRIMER COAT MACRO EPOXY S-W 646
 • APPLY 1 COAT ACRYLON ULTRA
 COLOR WHITE

**2017/SMA-24
 EXHIBIT A-6**

'THIS DOCUMENT IS CONFIDENTIAL INFORMATION OF CID ASSOCIATES SUBJECT TO THE MUTUAL NONDISCLOSURE AGREEMENT BETWEEN CID ASSOCIATES AND THE DRIVE TECHNOLOGIES DIVISION OF SIEMENS INDUSTRY, INC.'

REV	DATE	REMARKS
5	FEB. 2014	ADDED EXHAUST AIR NOTE, NOTED HVAC CONTROL CONDUIT ACCESS, REV'D QU. OF SKID 15/16" HOLES NOTED DIRECTION OF SECT. THRU BLDG.

GENERAL TERMS AND CONDITIONS OF C.I.D. PROPOSAL/CONTRACT WILL PREVAIL IN ALL MATTERS. C.I.D. WILL NOT ACCEPT ANY LIABILITY AS TO PRODUCT IF CHANGES ON DRAWINGS ARE MADE WITHOUT AUTHORIZATION AND APPROVAL OF C.I.D.
 THIS PRINT IS OWNED BY C.I.D. ASSOCIATES, INC. AND SHALL BE RETURNED UPON REQUEST. ITS CONTENTS MUST NOT BE COPIED OR DISCLOSED TO OUTSIDE BIDDERS, CONTRACTORS OR MANUFACTURERS.

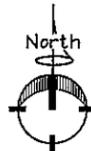
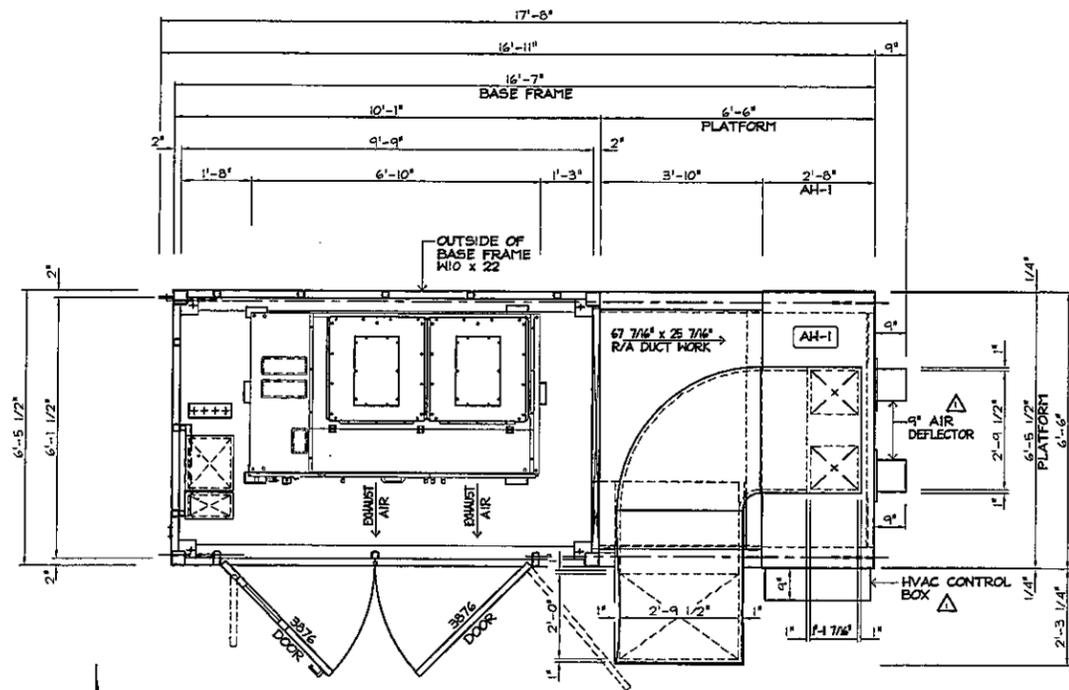
CID associates, inc.
 730 Ekastown Road
 Sarver, Pa 16055
 voice: 724-353-0300
 fax: 724-353-0308
 E-mail: sales@cidbuildings.com
 www.cidbuildings.com

Siemens Industry, Inc.
 DRIVE TECHNOLOGIES DIVISION
 LARGE DRIVE APPLICATIONS

DESIGN TEAM:
 G. L. MURRAY
 P. J. GUST BOBERTY

DATE: 24 JAN. 2014
 DRAWING NO.: 371433-02

CID "STATE OF THE ART" LIFTABLE ENCLOSURE SECTION THRU BUILDING

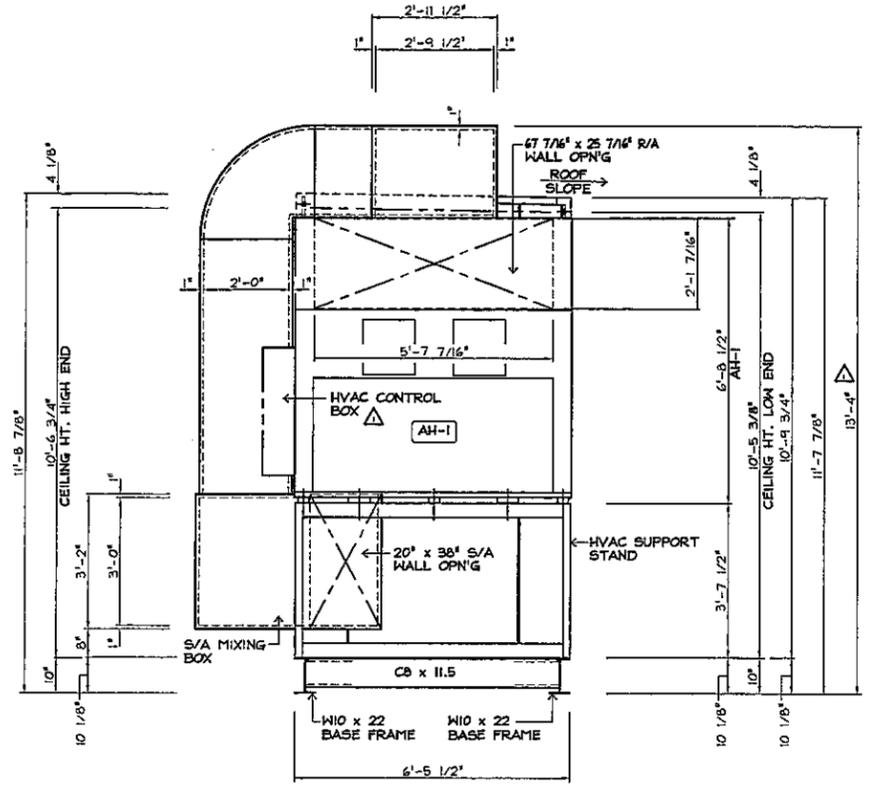


HVAC PLAN

SCALE 1/2" = 1'-0"

ADJUST DOOR CLOSER TO LIMIT DOOR SWING DUE TO HVAC S/A DUCTWORK (PROVIDE DOOR STOP ON DUCTWORK)

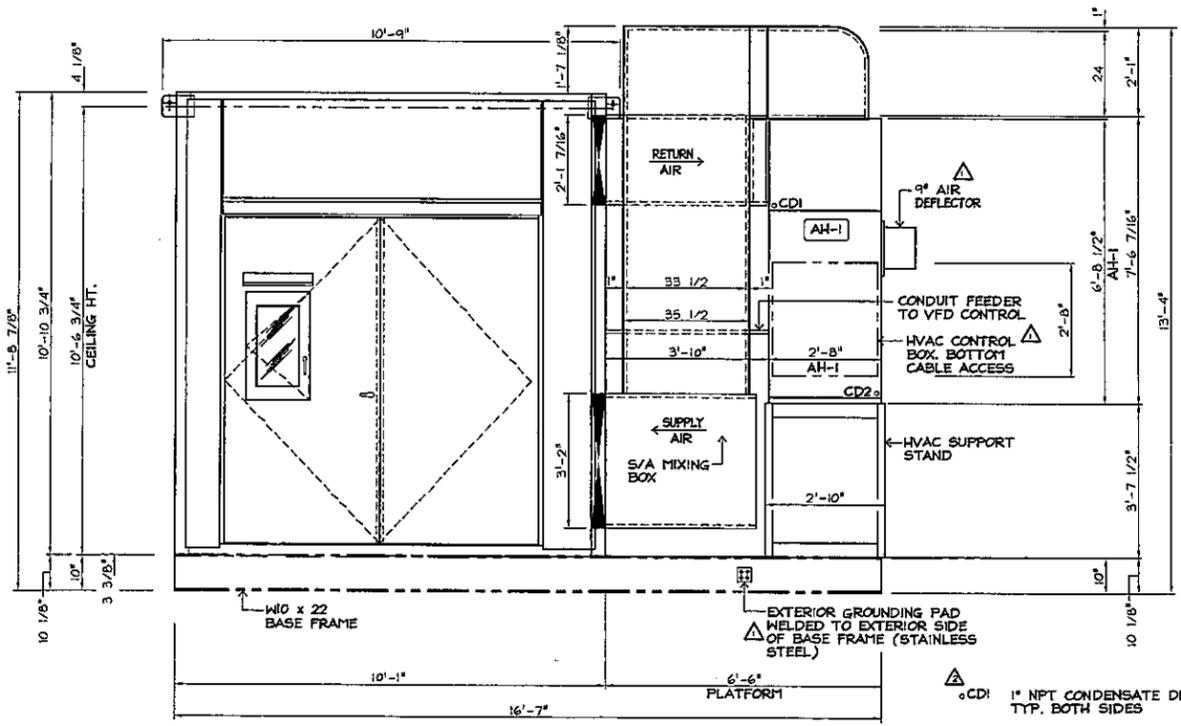
ALL DUCTWORK TO BE INSULATED ON INTERIOR SIDE OF DUCT
 ALL DUCTWORK TO BE FABRICATED FROM G90 GALVANIZED SHEET 20 GA. GALVANIZED DUCT FLANGES NUTS/BOLTS/CORNERS AND CLEATS GALVANIZED TURNING VANES 1" STANDARD DUCT LINER CUSTOM MEASURE



EAST WALL HVAC EXTERIOR ELEVATION

SCALE 1/2" = 1'-0"

HVAC STRUCTURE SAME PAINT COLOR AS ENCLOSURE, WHITE



SOUTH WALL HVAC EXTERIOR ELEVATION

SCALE 1/2" = 1'-0"

- CD1 1" NPT CONDENSATE DRAIN TYP. BOTH SIDES
- CD2 1" NPT CONDENSATE DRAIN TYP. BOTH SIDES

2017/SMA-24 EXHIBIT A-7

THIS DOCUMENT IS CONFIDENTIAL INFORMATION OF CID ASSOCIATES SUBJECT TO THE MUTUAL NONDISCLOSURE AGREEMENT BETWEEN CID ASSOCIATES AND THE DRIVE TECHNOLOGIES DIVISION OF SIEMENS INDUSTRY, INC.

REV	DATE	REMARKS
6	FEB. 2014	LIMIT SWING OF INACTIVE DOOR. LOCATED HVAC CONDENSATE DRAINS
5	FEB. 2014	NOTED DUCTWORK TO BE GALV. REV'D HT. OF S/A DUCT. ADDED HVAC CONTROL BOX. ADDED GND. PAD TO SOUTH SIDE OF PLATFORM. NOTED HVAC PAINT COLOR.

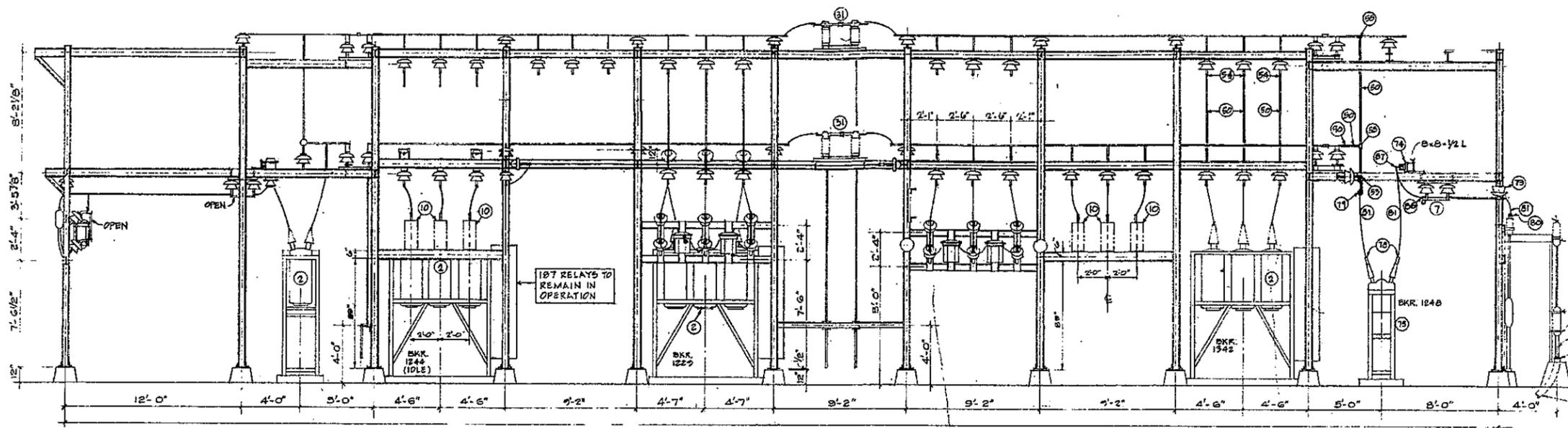
GENERAL TERMS AND CONDITIONS OF C.I.D. PROPOSAL/CONTRACT WILL PREVAIL IN ALL MATTERS. C.I.D. WILL NOT ACCEPT ANY LIABILITY AS TO PRODUCT IF CHANGES ON DRAWINGS ARE MADE WITHOUT AUTHORIZATION AND APPROVAL OF C.I.D. THIS PRINT IS OWNED BY C.I.D. ASSOCIATES, INC. AND SHALL BE RETURNED UPON REQUEST. ITS CONTENTS MUST NOT BE COPIED OR DISCLOSED TO OUTSIDE BIDDERS, CONTRACTORS OR MANUFACTURERS.

associates, inc. 730 Ekastown Road Sarver, Pa 16055 voice: 724-353-0300 fax: 724-353-0308 E-mail: sales@cidbuildings.com www.cidbuildings.com

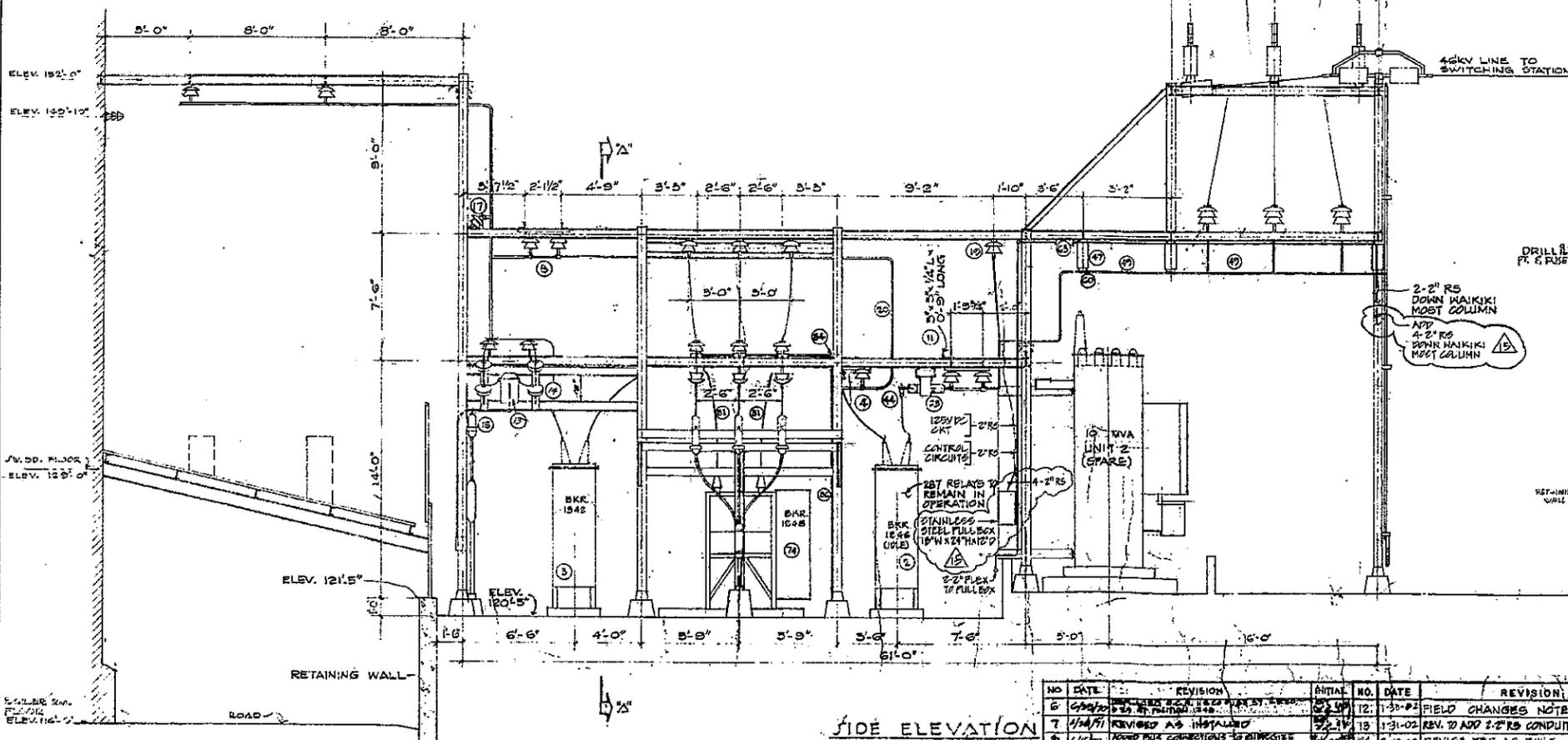
Siemens Industry, Inc. DRIVE TECHNOLOGIES DIVISION LARGE DRIVE APPLICATIONS
 CID "STATE of the ART" Liftable ENCLOSURE HVAC PLAN VIEW HVAC EXTERIOR ELEVATIONS
 371433-H1

CAT 3
17xV 55

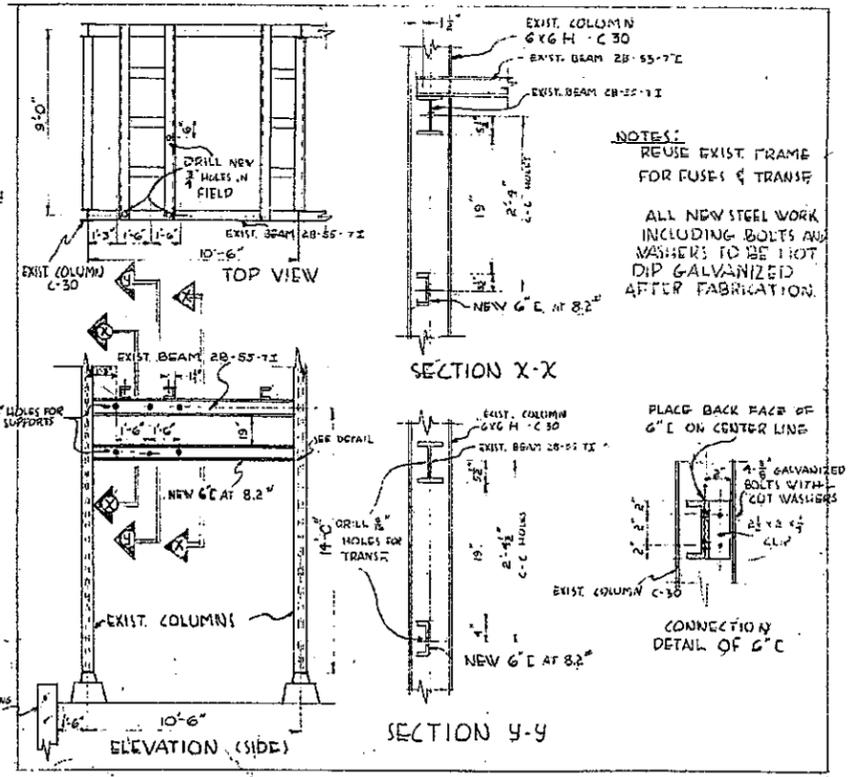
2017/SMA-24
EXHIBIT A-10



ELEVATION SECTION "A-A"
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REFERENCE DWGS:
S-1701B FOUNDATION PLAN - BANKS #1 & #2
S-1701C ELECTRICAL LAYOUT - PLAN VIEW - BANKS #1 & #2
S-1701D SECTIONS - BANKS #1 & #2
S-1701E MATERIAL LIST & DETAILS - BANKS #1 & #2

NO.	DATE	REVISION	INITIAL	NO.	DATE	REVISION	INITIAL	SCALE AS SHOWN	DATE NOV. 15, 1939
6	6-24-39	REVISED PER FIELD CHANGES NOTED	JAR	12	1-30-42	FIELD CHANGES NOTED	JAR	DRAWN SMB	CHECKED JAR
7	1-14-47	REVISED AS INSTALLED	JAR	13	1-31-02	REV. TO ADD 2" RS CONDUITS TO BANKS #1 & #2	JAR	APPROVED	
8	1-14-47	REVISED PER AS-BUILT	JAR	14	5-19-02	REVISED PER AS-BUILT	JAR		
9	3-9-54	REMOVED TRANS. NO. 1 AND MADE DEAD 1244 IDLER	JAR	15	1-14-49	ADDED CONDUITS FOR STARTUP CHRG. CIRCUIT RE-PLACEMENT (PODDOGS)	JAR		
10	1-18-87	REMOVED SPARE BUS, REMOVED PEPPER BUSHES TO PERMIT CABLE	JAR					FINAL APPROVAL	

ELECTRICAL LAYOUT
ELEVATIONS - BANKS 1 & 2
WAIU SUBSTATION

ENGINEERING DEPARTMENT
THE HAWAIIAN ELECTRIC COMPANY, LTD.
HONOLULU, HAWAII

S-17019



THIS DRAWING WAS CREATED USING COMPUTER AIDED DESIGN. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND FOR MAKING ANY NECESSARY CHANGES WITHOUT UPDATING ELECTRICAL SYMBOLS.

THIS DOCUMENT IS UNCLASSIFIED EXCEPT TO THE EXTENT THAT IT CONTAINS INFORMATION THAT IS NOT BEING DISCLOSED TO OUTSIDE PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF THE COMPANY. ALL RIGHTS RESERVED BY ABB INC.

ELEC. REF. FILE: NTS
PLOT SCALE: NTS

NO.	DATE	REVISION DESCRIPTION	DRAWN BY	ENGR BY	CHECKED BY	APVD BY	NO.	DATE	REVISION DESCRIPTION	DRAWN BY	ENGR BY	CHECKED BY	APVD BY
A	06/24/2015	CONCEPT	JT	PS	AP								

DRAWN BY	JT
ENGR BY	PS
CHECKED BY	AP

- CONCEPT
- FOR INFORMATION ONLY
- FOR APPROVAL
- FOR MANUFACTURE
- FOR CONSTRUCTION
- FOR RECORD

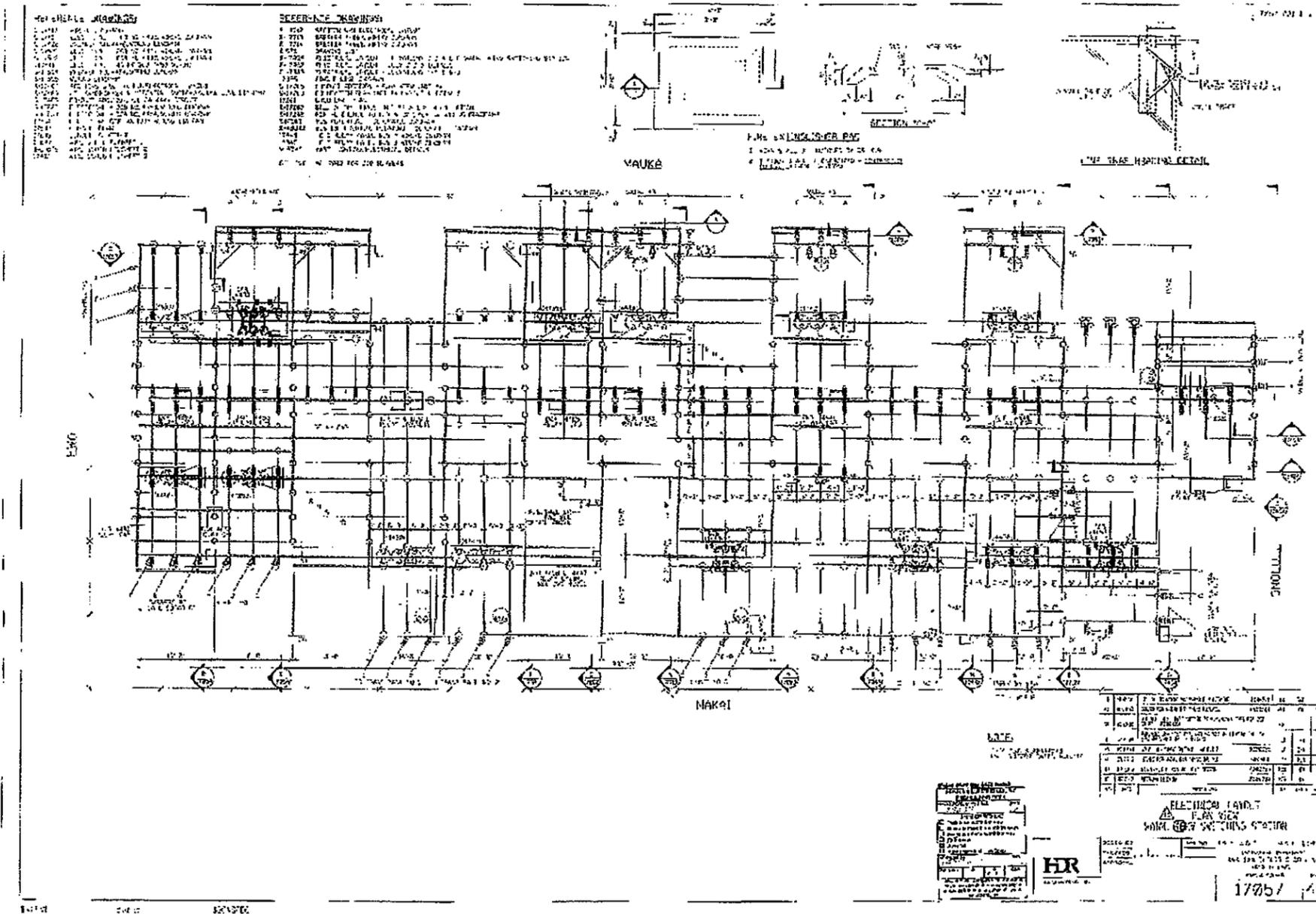


Substations (PSS)

TITLE		HECO WAI'AU SUBSTATION 138KV LAYOUT STEP 3 - RELOCATE THE LAST 4 CIRCUITS	
SCALE	DRAWING No.	SHEET	CONTO' REV
NTS	CW-S000348-LO01-TGB1	4	A

46kV Layout Options

Existing 46kV AIS Site Layout



1/2" scale
 10000V
 10000V
 10000V

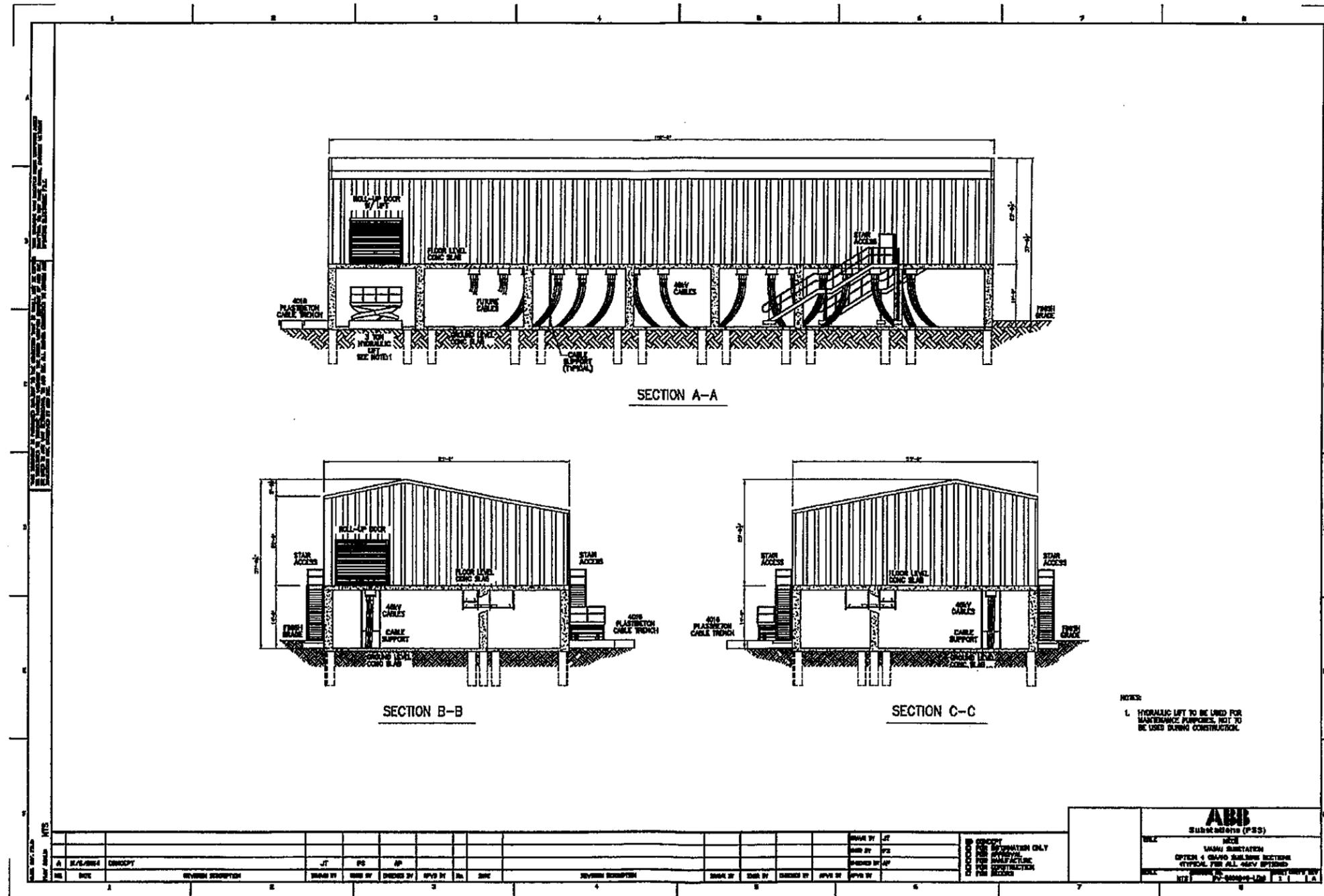
2017/SMA-24
 EXHIBIT A-12



46kV Layout Options

Traditional BAAH (GIS) (OPTION 4)

Building Sections (Typical for All Options)



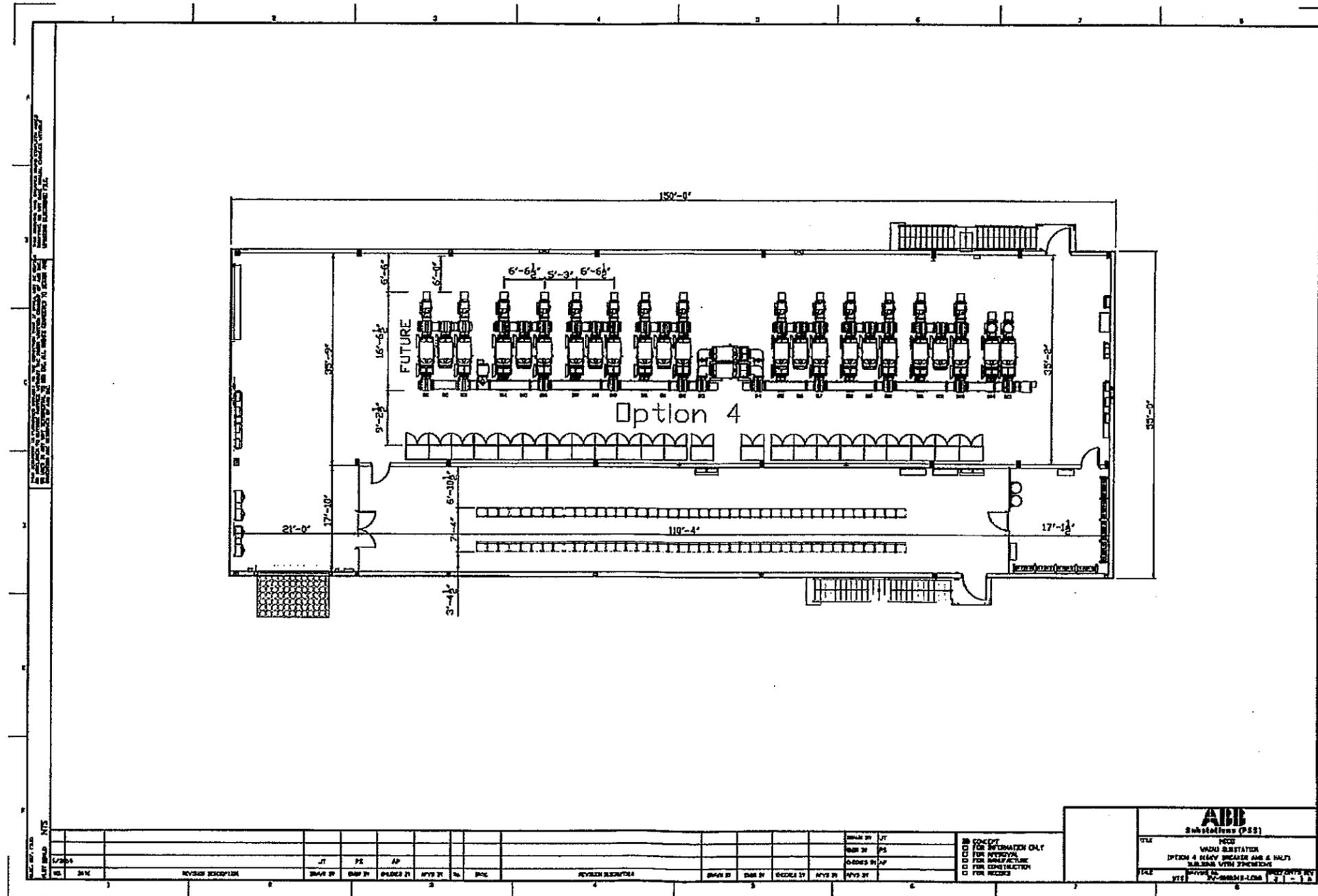
10/11/16
Albert
M.W.

2017/SMA-24
EXHIBIT A-13

46kV Layout Options

Traditional BAAH (GIS) (OPTION 4)

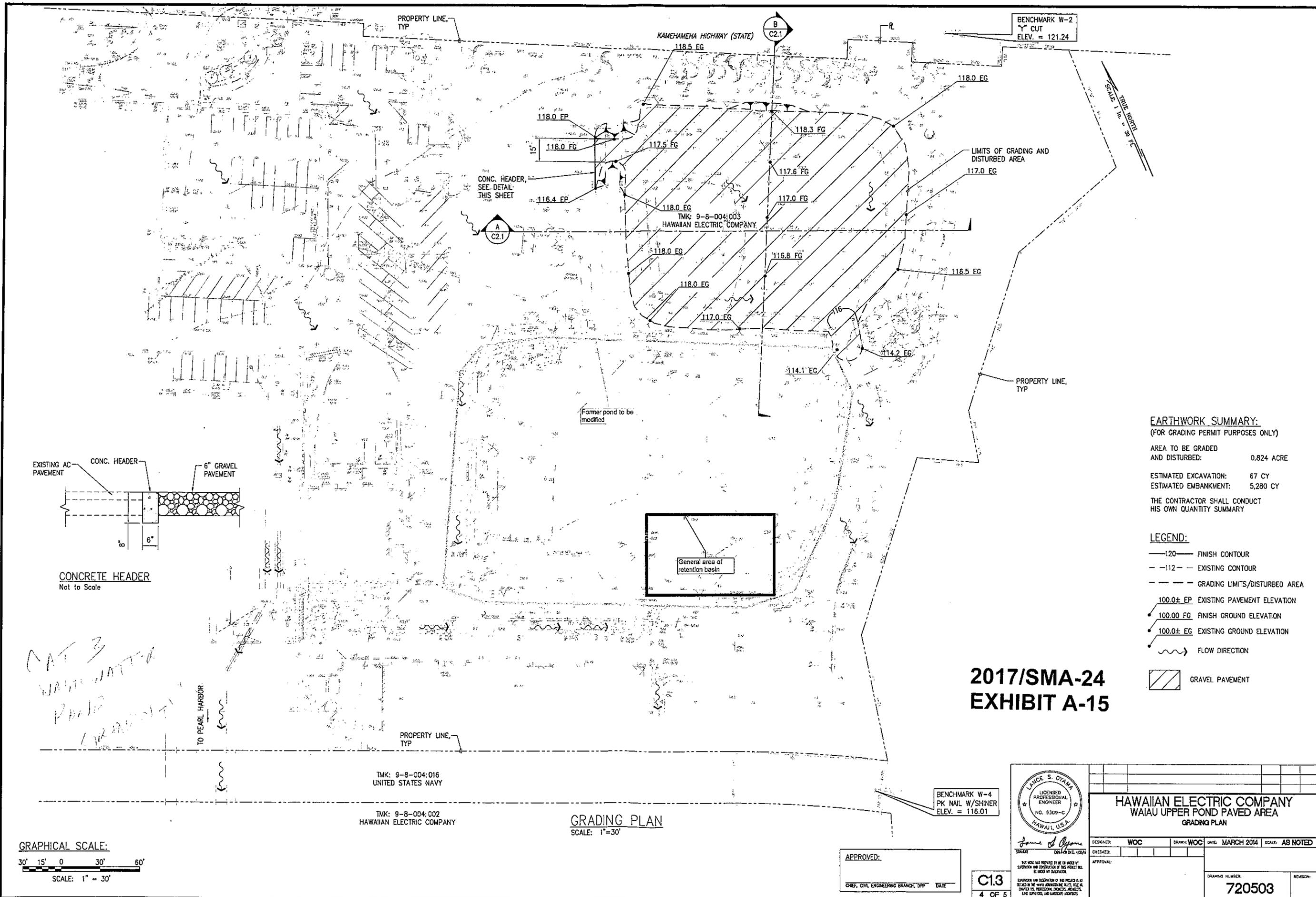
Building With Dimensions



Handwritten notes:
 (1) 1/2" x 1/2" x 1/2"
 1/2" x 1/2" x 1/2"
 1/2" x 1/2" x 1/2"

2017/SMA-24
 EXHIBIT A-14





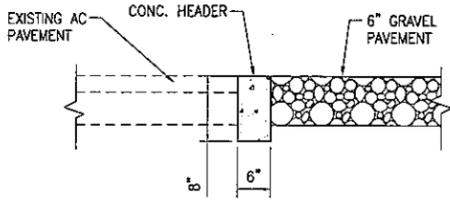
EARTHWORK SUMMARY:
(FOR GRADING PERMIT PURPOSES ONLY)

AREA TO BE GRADED AND DISTURBED:	0.824 ACRE
ESTIMATED EXCAVATION:	67 CY
ESTIMATED EMBANKMENT:	5,280 CY

THE CONTRACTOR SHALL CONDUCT HIS OWN QUANTITY SUMMARY

LEGEND:

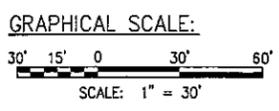
- 120— FINISH CONTOUR
- -112- - EXISTING CONTOUR
- - - - GRADING LIMITS/DISTURBED AREA
- 100.0± EP EXISTING PAVEMENT ELEVATION
- 100.00 FG FINISH GROUND ELEVATION
- 100.0± EG EXISTING GROUND ELEVATION
- ~ ~ ~ FLOW DIRECTION
- [Hatched Box] GRAVEL PAVEMENT



CONCRETE HEADER
Not to Scale

*CAT 3
WATER TIGHT
POND
1/2" DIA*

TO PEARL HARBOR



TMK: 9-8-004:016
UNITED STATES NAVY

TMK: 9-8-004:002
HAWAIIAN ELECTRIC COMPANY

GRADING PLAN
SCALE: 1"=30'

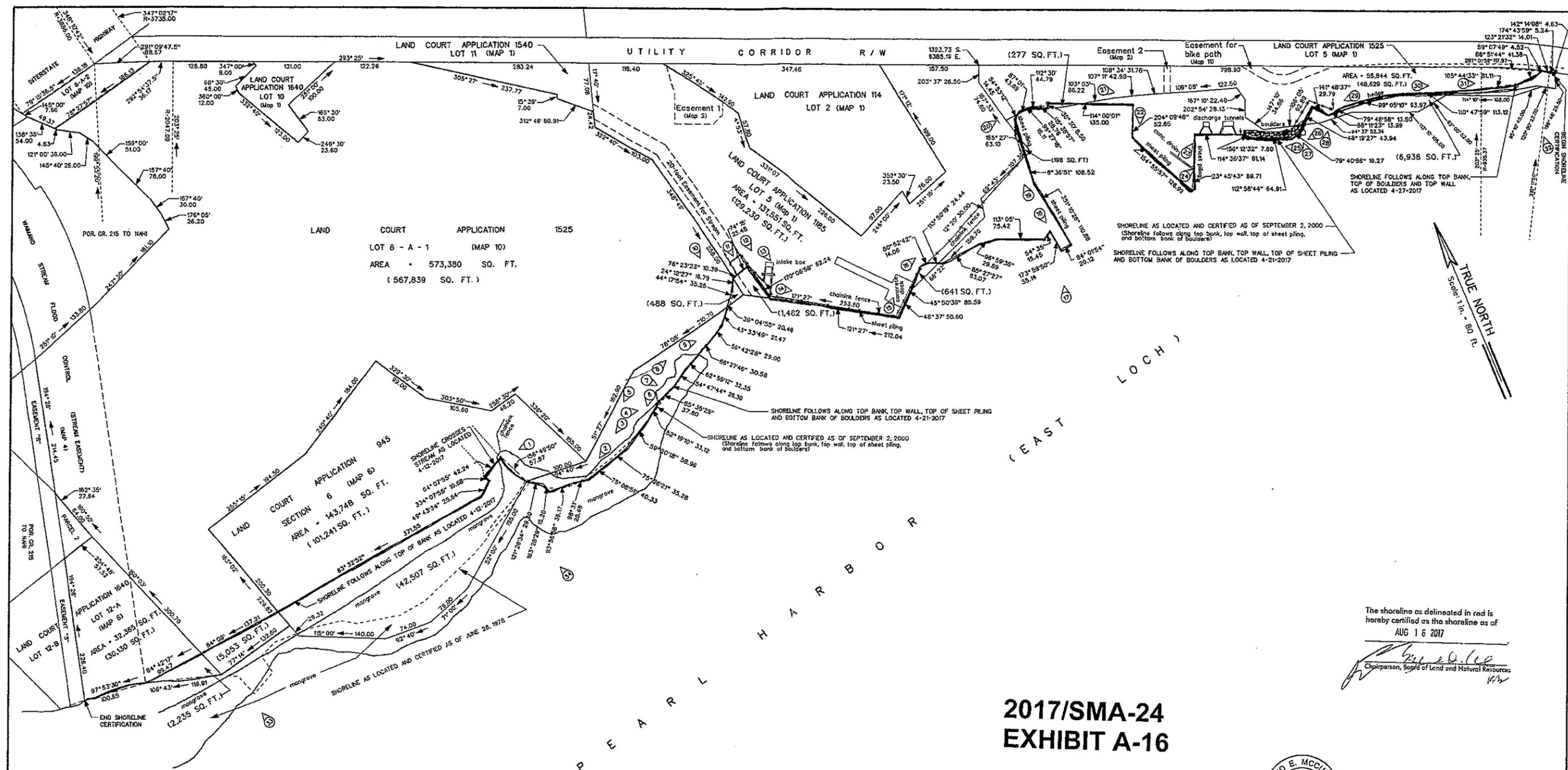
BENCHMARK W-4
PK NAIL W/SHINER
ELEV. = 116.01

APPROVED:

CHIEF, CIVIL ENGINEERING BRANCH, DDP DATE

C13
4 OF 5

HAWAIIAN ELECTRIC COMPANY WAIU UPPER POND PAVED AREA GRADING PLAN			
DESIGNED: WOC	DRAWN: WOC	DATE: MARCH 2014	SCALE: AS NOTED
CHECKED:	APPROVAL:	DRAWING NUMBER:	REVISION:
		720503	



The shoreline as delineated in red is hereby certified as the shoreline as of
AUG 16 2017

David E. McCurdy
 Chairperson, Board of Land and Natural Resources

**2017/SMA-24
 EXHIBIT A-16**

SHORELINE SURVEY MAP

WAIU POWER PLANT COMPRISING

- LOT 12-A AS SHOWN ON MAP 6 OF LAND COURT APPLICATION 1640
- LOT 6-A-1 AS SHOWN ON MAP 10 OF LAND COURT APPLICATION 1525
- SECTION 6 AS SHOWN ON MAP 6 OF LAND COURT APPLICATION 945
- LOT 5 AS SHOWN ON MAP 1 OF LAND COURT APPLICATION 1185
- LOT 5 AS SHOWN ON MAP 1 OF LAND COURT APPLICATION 1525

TAX MAP KEY: (1) 9-7-18; 12, 9-8-03; 01, AND 9-8-04; 02
 AT WAIU AND WAIMANO, EWA, OAHU, HAWAII
 OWNER: HAWAIIAN ELECTRIC COMPANY, INC.



This work was prepared by me or under my direct supervision

David E. McCurdy
 David E. McCurdy,
 Licensed Professional Land Surveyor
 License Number 15970
 expires 4/30/18

① Denotes photo number and direction taken
 Azimuths and distances referred to "EWA CHURCH" △