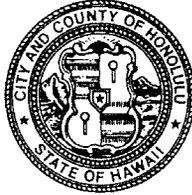


DEPARTMENT OF PLANNING AND PERMITTING  
**CITY AND COUNTY OF HONOLULU**

650 SOUTH KING STREET, 7<sup>TH</sup> FLOOR • HONOLULU, HAWAII 96813  
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KIRK W. CALDWELL  
ACTING MAYOR



DAVID K. TANOUE  
DIRECTOR  
ROBERT M. SUMITOMO  
DEPUTY DIRECTOR

September 23, 2010

The Honorable Todd K. Apo, Chair  
and Members  
Honolulu City Council  
530 South King Street, Room 202  
Honolulu, Hawaii 96813

RECEIVED  
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C & C OF HONOLULU  
2010 SEP 23 PM 1:38

Dear Chair Apo and Councilmembers:

Subject: Application for a Major Modification to  
Plan Review Use (PRU) Permit No. 87/PRU-3  
Applicant: Kapiolani Community College, University of Hawaii  
Landowner: State Department of Land and Natural Resources  
Agent: PBR Hawaii & Associates, Inc.  
Location: 4500 Diamond Head Road – Diamond Head  
Tax Map Key: 3-1-42: 11

We recommend approval of the application for a major modification to Plan Review Use (PRU) Permit No. 87/PRU-3, subject to the conditions described in the draft resolution (Attachment 1).

Attached for your information are a report and draft resolution for approval of the application to allow a major modification to the PRU Permit No. 87/PRU-3, Kapiolani Community College (KCC), University of Hawaii, for the development of a new instructional facility, the proposed Culinary Institute of the Pacific, on the former Fort Ruger Canon Club site. If approved, the major modification will allow the applicant to expand the existing culinary arts program at the KCC Main Campus with the addition of 11 new structures, including a teaching restaurant, administration/faculty building, auditorium, classroom building, multi-function lab buildings, building plant, entry pavilion, and appurtenant site improvements on the subject site.

Pursuant to Section 21-2.70(a) of the Land Use Ordinance, the City Council must hold a public hearing and either (1) approve the application, in whole or in part, with or without conditions or modifications, by resolution; or (2) deny the application within 60 calendar days after the receipt of our findings and recommendation. The City Council may extend this period of time upon receipt of a request from the applicant for an extension; however, the extension is not automatic and thus, if an extension of time is not requested in a timely manner, the application shall be deemed denied after the 60-day period.

DEPT. COM. 745

The Honorable Todd K. Apo, Chair  
and Members  
September 23, 2010  
Page 2

Should you have any questions, please contact me at 768-8000.

Very truly yours,

A handwritten signature in black ink, appearing to read 'D. Tanoue', with a long horizontal flourish underneath.

David K. Tanoue, Director  
Director of Planning and Permitting

DKT:cs

Attachments

cc: PBR Hawaii  
Kapiolani Community College

DEPARTMENT OF PLANNING AND PERMITTING  
OF THE CITY AND COUNTY OF HONOLULU

STATE OF HAWAII

IN THE MATTER OF THE APPLICATION )

OF )

KAPIOLANI COMMUNITY COLLEGE, )  
UNIVERSITY OF HAWAII )

FILE NO. 87/PRU-3

FOR A )

MAJOR MODIFICATION TO )  
PLAN REVIEW USE PERMIT 87/PRU-3 )

FINDINGS OF FACT, CONCLUSIONS OF LAW  
AND RECOMMENDATION

I. APPLICATION

A. Basic Information:

APPLICANT:	Kapiolani Community College, University of Hawaii
LANDOWNER:	State Department of Land and Natural Resources
AGENT:	PBR Hawaii & Associates, Inc.
LOCATION:	4500 Diamond Head Road - Diamond Head
TAX MAP KEY:	3-1-42: 11
LAND AREA:	7.878 Acres
EXISTING USE:	Vacant Land
STATE LAND USE DISTRICT:	Urban District
ZONING:	F-1 Military and Federal Preservation P-2 General Preservation District
FLOOD ZONE:	Zone X (outside the 500-year flood plain)
SURROUNDING LAND USES:	Residential, Diamond Head State Monument, Community College

- B. Proposal: The Applicant seeks to expand its culinary instructional program at the Kapiolani Community College (KCC) main campus with the addition of a new instructional facility [the Culinary Institute of the Pacific ("CIP")] and campus on the former Fort Ruger Cannon Club site on Diamond Head Road.

Background: Plan Review Use (PRU) Permit No. 87/PRU-3 was approved for 20 buildings on 44 acres of land at the existing KCC main campus (Tax Map Key 3-1-42: portion of 9 and 31) on May 24, 1989 (Resolution No. 89-155, CD-1), and an amendment to the PRU Permit was approved on October 14, 1992 (Resolution 92-193/CD-1). The CIP was not identified on the approved plans. Due to the scale and location of the proposed project, it requires a major modification of the PRU Permit.

About 400 students are currently enrolled in the KCC two-year culinary program, which is housed in the 'Ohelo and 'Ohi'a Buildings on the existing main campus about 600 feet east of the subject site. The existing culinary program facilities include 10 kitchens, a 130-seat demonstration auditorium, a restaurant, banquet rooms, and computer labs, as well as showers and locker rooms for culinary arts students. The total enrollment at the KCC main campus, which consists of 20 buildings, is about 9,200 students (including part-time students and web learners). There are 553 full and part-time faculty, lecturers, and staff at the KCC campus.

The CIP was established in 2000 as a University of Hawaii Community College system-wide consortium, made up of seven culinary arts programs located on six campuses on Oahu, Maui, Kauai, and the Big Island. In 2003, a strategic plan for a four-year baccalaureate program for advanced culinary education was designed to prepare graduates to obtain executive level positions in the food service industry. The former Fort Ruger Cannon Club site was selected as the site for this advanced culinary program.

The Applicant indicates that the KCC is in the planning stages for a new long-range master plan for the KCC main campus; however, there is no time line for when the update will be completed. If approved, the major modification of the existing PRU Permit would allow the development of the CIP to proceed. No major changes to the existing KCC main campus are proposed as part of this application.

Proposed Development: The new CIP campus (Exhibit B) will consist of the following 11 single-story buildings, with a total of 43,425 square feet in floor area and building area:

PROPOSED STRUCTURE	FUNCTION	FLOOR AREA/ BUILDING AREA (Square feet)	HEIGHT (Feet)
1. Teaching Restaurant	Operational teaching facility	11,311	24.5
2. Classroom Building	Instructional classroom space	3,156	24.5
3. Auditorium	Competition demonstration space	5,719	24.5
4. Pre-Function Auditorium	Pre-function demonstration	2,194	24.5
5. Administration	Administrative and faculty operations	3,569	24.5
6. Asian and Multi-Function Laboratory	Instructional and classroom space	6,615	22.5
7. Baking and Pastry Laboratory	Instructional and classroom space	4,954	22.5
8. Building Plant	Maintenance and operations	2,880	15
9. Student Lounge	Student support	1,783	24.5
10. Storage Building	Facility support	952	15
11. Imu Pit Storage	Facility support	292	9
TOTAL		43,425	

The campus includes three parking lots: a lower main parking lot with an entry to the west, an upper parking lot, and a service parking lot with a separate entry at the east end of the site. The upper and lower lots would feature circular turnarounds with drop-off and pick-up curbs. Courtyards are proposed between each of the structures with extensive landscaping.

The CIP campus will be open Monday through Friday from 8 a.m. to 7 p.m. The teaching restaurant will be open seven days a week for breakfast (7 a.m. to 10 a.m.), lunch (11 a.m. to 2 p.m.), and dinner (5 p.m. to 10 p.m.). The Applicant estimates that by 2017, approximately 280 students and 17 faculty, lecturers, and staff will use the proposed CIP facilities. The teaching restaurant is anticipated to hold approximately 175 diners.

Construction cost is estimated at \$45 million, and according to the applicant, construction will take around two years after all development permits are obtained.

## I. FINDINGS OF FACT

On the basis of the evidence presented, the Director has found:

- A. Description of Site/Surrounding Uses: The 7.878-acre site is an irregular polygon on the northern slopes of Diamond Head (Exhibit A). It slopes moderately upward from Diamond Head Road, from an elevation of 170 feet to about 210 feet above mean sea level (msl). The site is vacant, except for pavement, concrete slabs, walkways and stairways, with grass and brush vegetation and some trees on the lower slope. Beyond the site, the slope continues to the rim of Diamond Head Crater, about 450 feet above msl. A survey of the hillside above the site revealed surface boulders and rock outcroppings. According to the survey, dangerous rockfall conditions were not observed; however, some small boulders (less than two feet in diameter) can be anticipated to fall on occasion.

The site was formerly the Army Fort Ruger Cannon Club, which was built in 1945 as a social club for officers. Consisting of a total of nine structures, including a dining room, dance hall and kitchen, six officer's quarters, and a guard shack, the Cannon Club operated for more than 50 years until its closure in 1997. The last remaining structures were lost to a fire and were removed in 2003.

The site is zoned F-1 Military and Federal Preservation and P-2 General Preservation Districts (Attachment 2). On April 23, 2001, the site was transferred to the State of Hawaii via Executive Order No. 3918. As land removed from Federal jurisdiction, it is subject to the development standards of the P-2 General Preservation District under the Land Use Ordinance (LUO). The site is in the State Urban District. There is a 17-foot street setback (for road widening) along Diamond Head Road.

Adjacent areas to the west (Trousseau and Wauke Streets) are in residential use. The area across Diamond Head Road is also in residential use. About 600 feet to the east is the existing 44-acre KCC main campus, off Makapuu Avenue.

- B. Existing Structures on the KCC Main Campus: The KCC main campus consists of 20 main structures on 44 acres of land (Attachment 3). The Main Campus is open from 7 a.m. to 8 p.m. No major changes to the main campus are proposed at this time.

The existing structures are summarized in the following table:

BUILDING NAME PER RESO. 92-193/CD-1, AS AMENDEDki	STRUCTURE	USE	BUILDING AREA (SQUARE FEET)	FLOOR AREA (SQUARE FEET)	BUILDING HEIGHT (FEET)	NUMBER OF FLOORS
Classroom Building (CR-1)	Mamane	Computer Center	3,488	3,488	24	1
Classroom Building (CR-2)	Mokihana	Classrooms	3,744	3,744f	24	1
Music Building (CR-3)	Maile	Drama Studio	4,352	4,352	24	1
Building B	Kauila	Allied Health	40,150	80,300	29	2
Building D	Koki'o	Science	19,395	38,790	29	2
Building A	Iiahi	Classrooms	35,179	70,358	29	2
Building C	Koa	Art	16,961	33,922	29	2
Building F	'Ilima	Administration	21,122	42,244	33	2
Building G	'Ohi'a	Campus Center	38,579	77,158	35	2
Building F2	Naio	Media Center	19,235	38,470	26	2
Building G2	'Ohelo	Culinary Institute	32,904	65,808	38	2
Building I	Lama	Library	49,412	98,824	41	2
Building E1	Olona	Classrooms	14,936	29,872	36	2
Building E2	Kalia	Classrooms	16,852	33,704	36	2
Building P	Olopua	Maintenance	6,917	6,917	23	1
Building O	'Olapa	Hotel Operations	23,840	47,680	41.5	2
Building J	Kopilo	Nursing	38,531	77,062	31	2
Childcare Building	'Alani	Childcare	5,102	5,102	20.5	1
Building CS-1	Manele	Community Service	5,256	5,256	23	1
Building SC-2	Manono	Community Service	6,787	6,787	23	1
<b>TOTAL</b>			<b>402,742 sf</b>	<b>769,838 sf</b>		

**Notes:**

The KCC Main Campus structures, within the existing PRU area, represent the built-out scenario as approved by Resolution 92-193, CD-1, as amended, with the following exceptions:

- Building 933 has been removed and is now part of Parking Lot E;
- Portable structures have been removed as specified, and in compliance with Condition 7 of Resolution 92-193/CD-1, as amended; and
- A portion of the County's Diamond Head Bicycle Staging Area is located within the existing PRU area, however is not part of the KCC Main Campus.

C. Other Permits and Approvals:

1. Special Management Area (SMA) Use Permit: The site is in the SMA established by Chapter 25, Revised Ordinances of Honolulu (ROH). On June 21, 1989, the City Council approved SMA Use Permit No. 88/SMA-70 (Resolution No. 89-152) for the KCC main campus on Tax Map Key 3-1-42: portion of 9 and 31. An SMA Use Permit, No. 2010/SMA-18 (Resolution 10-144), for the proposed project was approved by the City Council on July 14, 2010.
2. Diamond Head Special District Permit: The site is within the core area of the Diamond Head Special District and a major Special District Permit will be required for the proposed project.
3. Building and Other Permits: In addition to building, grading, sidewalk/driveway and sign permits, all of which are administered by the Department of Planning and Permitting (DPP), the proposed project will require other permits which are administered by other agencies, such as a National Pollutant Discharge Elimination System (NPDES) permit and Notice of Intent (NOI) form from the State Department of Health (SDOH).

- D. Public Agency Review Comments: During the Environmental Assessment (EA) review process, request for comments were sent to various public agencies. Agencies' written comments to the Draft EA and the Applicant's corresponding response letters were included in the Final EA, a copy of which is included with the PRU Permit application. During the PRU Permit processing, the following public agencies were requested to evaluate the impact of the project on their facilities and services:

State – Department of Transportation (DOT); Department of Health (DOH); Department of Land and Natural Resources (DLNR); DLNR Division of State Parks; DLNR State Historic Preservation Division; Department of Business, Economic Development and Tourism (DBEDT), State Office of Planning; and Office of Hawaiian Affairs (OHA).

City – Board of Water Supply (BWS); Department of Design and Construction (DDC); Department of Facilities Maintenance (DFM); Department of Environmental Services (DES); Department of Parks and Recreation (DPR); Department of Transportation Services (DTS); Honolulu Fire Department; and Honolulu Police Department.

Comments on the subject PRU Permit application are on file at the DPP, and significant comments are discussed in the ANALYSIS section of this report. Copies of the comment letters and the applicant's response are included in Attachment 4.

- E. Public Notification and Comments: The Applicant presented the proposal to the Diamond Head/Kapahulu/St. Louis Neighborhood Board No. 5 on May 14, 2009, the Waiālae/Kahala Neighborhood Board on May 20, 2009, and the Kaimuki Neighborhood Board No. 4 on May 21, 2009. Comments and questions related to landscaping, parking, traffic, views, and funding were raised at these meeting, but no major concerns or objections were expressed. The Applicant provided an affidavit (dated June 10, 2010) confirming that the nearby property owners were sent written notification of the above presentations, the meeting minutes, and a summary of the comments and questions raised at these meetings, in the PRU Permit application.

Upon acceptance of the application for processing, informational notices were sent by the DPP to various community organizations and public officials. A copy of the PRU Permit application was sent to the Diamond Head/Kapahulul/St. Louis Heights Neighborhood Board No. 5 for review and comment, and copies were made available to the public at the Ala Moana Shopping Center Satellite City Hall. Pursuant to LUO Section 21-2.40-2, the Applicant notified by mail, and within 10 working days of its acceptance of the application, property owners within 300 feet of the site concerning its request. The DPP received no correspondence either in support of or in opposition to the project.

- F. Environmental Review Requirements: The proposal involves the use of State lands and funds and is subject to the provisions of Chapter 343, Hawaii Revised Statutes (HRS), the Environmental Impact Statement law. The impacts of the proposed improvements were assessed in an EA prepared pursuant to the State Environmental Impact Statement (EIS) regulations, Title 11, Chapter 200, Hawaii Administrative Rules and Chapter 343, Hawaii Revised Statutes. A Finding of No Significant Impact was issued by the University of Hawaii on March 6, 2009, which was published in the Office of Environmental Quality Control's Environmental Notice on March 23, 2009.
- G. Flood District: The site is designated within the Flood Hazard Zone X, as determined by the Federal Flood Insurance Rate Map (Community Panel No. 1500C00370E, November 20, 2000), which is an area determined to be outside the 500-year flood plain. Flood Zone X is not subject to the Flood Hazard District regulations of the LUO.
- H. Historical Resources: Although portions of the Diamond Head State Monument (DHSM) are identified as being located within the Fort Ruger Historic District, which is listed on the National Register of Historic Places, neither the proposed Cannon Club site nor the existing KCC campus is part of the Historic District. In its comment letter of June 16, 2010 to the PRU Permit application, the State Historic Preservation Division (SHPD) determined that no historic properties are affected. The standard "archaeological stop work" condition is included in the SMA Permit (2000/SMA-18) approved for the proposal. As a condition of approval, the applicant is required to comply with all conditions of the SMA Permit; hence an "archaeological stop work" condition is not necessary here.
- I. Cultural Resources: A Cultural Impact Assessment was not prepared specifically for the CIP site. However, as part of the DHSM Master Plan Update Final EIS (2000), a cultural assessment was prepared by Dr. George Kanahale. It was concluded that Diamond Head's importance was mythological (i.e., rooted in Pele) and although its interior was "kapu" (forbidden), no habitation was found inside the crater. However, there is a slight possibility that buried cultural deposits may exist, particularly in areas that have not been extensively graded or excavated. The OHA requested that local cultural practitioners be contacted to discuss the project impacts on Diamond Head Crater. The Applicant has formed a Native Hawaiian cultural advisory committee, which is comprised of members from the Hawaiian community, including KCC Malama and Interpret Hawai'i faculty, a Kupuna, a shoreline specialist, an OHA Board of Trustee member, and the UH Travel Industry Management cultural and sustainability faculty advisor. Therefore, a PRU condition is not required.

### III. ANALYSIS

#### A. Conformance with City Land Use Standards:

1. Primary Urban Center (PUC) Development Plan (DP): The site is inside the PUC Urban Community Boundary on land designated "Lower-Density Residential" on the Land Use Map PUC-East. The proposed KCC-CIP is considered an "institutional" land use which is allowed in this area.

The proposal is consistent with the policies regarding appropriate building design (Section 3.2.2.2). The proposed expansion of the culinary training and education program with the goal of making it a premier culinary training and education center helps to facilitate a key vision element of the PUC DP to make Honolulu the "Pacific's Leading City" (Section 3.4). The project helps implement policies to develop high quality post-secondary institutions that increase the attractiveness of the PUC as a place to live and work (Section 4.7.2)

2. Land Use Ordinance (LUO): The site is regulated under the P-2 General Preservation District regulations. The proposed facility is considered a university use which is allowed in any zoning district with the approval of a Plan Review Use (PRU) Permit. The existing KCC main campus operates under PRU Permit No. 87/PRU-3. The addition of the proposed CIP campus is considered a major modification; therefore a new PRU Permit is required.

In accordance with LUO Section 21-2.120-3(b)(2), no application for a new PRU Permit can be accepted if one or more conditions of the existing PRU Permit, other than conditions of a continuing nature, have not been fully performed. The Applicant has complied with, or continues to comply with all of the conditions of approval set by PRU Permit No. 87/PRU-3 under Resolution No. 92-193, CD1.

#### B. Development Standards: Design standards for PRU Permits (density, height, yards, parking, loading, landscaping, and signage) are determined based on a review of plans, surrounding land uses, adopted land use policies, and applicable zoning ordinances.

1. P-2 General Preservation District: Except for building area (lot coverage), the proposed project will comply with the P-2 General Preservation District development standards, including minimum lot area, minimum lot width and depth, yard setbacks for nonresidential uses (plus road-widening setback), maximum height and required height setbacks. Building area for the proposed structures amounts to 12.7 percent of the lot area, which exceeds the maximum five percent lot coverage permitted for the underlying district. According to the applicant, all the proposed facilities are needed to meet the programmatic needs of the expanded culinary program from a two-year to a four-year baccalaureate program. The site lies above Diamond Head Road and has no neighbors on adjoining lots except for residential dwellings to the northwest of the site. The proposed structures are set back at least 108 feet from Diamond Head Road and more than 140 feet from the nearest dwelling, and landscaped buffers are proposed along the boundaries shared by the CIP and dwellings on the adjoining lots. In light of the size of the campus, the proposed setback from Diamond

Head Road and dwellings on adjoining lots, the proposed lot coverage is reasonable. It should be noted, however, that the PRU Permit application plans are only conceptual; project compliance with LUO development and design standards will be confirmed during the review and approval of building permits.

2. Parking and Loading: The LUO does not stipulate parking requirements for community colleges. In accordance with Section 21-2.120-2 of the LUO, parking requirements shall be assessed under the PRU Permit. The minimum parking requirement for the CIP is based on floor area dedicated to classrooms, kitchen labs, administrative offices, auditoriums, and teaching restaurants (including outdoor dining areas) and the applicable off-street parking requirements closest to the proposed uses listed in Table 21-6.1 of the LUO. Floor areas assigned to covered walkways, storage rooms, or mechanical/electrical enclosures were considered secondary spaces used to support primary building functions, and were excluded from parking calculations and requirements. The following is a summary table of estimates on the parking requirement, based on floor area calculations for the various uses provided by the applicant.

Proposed Use	Floor Area (Square Feet)	Applicable LUO Parking Requirements	Required No. of Parking
Asian & Multi-Purpose Laboratory Baking/Pastry Laboratory	9,985	1 per 500 square feet	19.9
Classrooms	2,640	1 per 200 square feet	13.2
Administration/Faculty	3,569	1 per 400 square feet	8.9
Auditorium	3,002	1 per 75 square feet of assembly area or 1 per 5 fixed seats, whichever is greater	40
Teaching Restaurant /Outdoor Dining	9,396	1 per 400 square feet	23.5
No. of Parking Stalls Required			106

A total of 123 parking spaces is proposed for the project. In addition, spaces for approximately 46 parking spaces are proposed to be set aside for DHSM parking, should the State decide to relocate existing visitors' parking from inside to outside of the crater. (The parking plan is shown on the Site Plan attached hereto as Exhibit B.) As plans and drawings submitted for PRU approval are only conceptual in nature, the number of required parking spaces may change with adjustments in floor area calculations. Any increase in the parking requirement will be accommodated by the excess parking spaces set aside for future parking for the DHSM.

The LUO requires that off-street parking and loading spaces be provided relative to total floor area. The total floor area for the CIP Campus equals 43,650 square feet, which requires three loading spaces. A total of four loading spaces are proposed, of which two will be for the operations of the teaching restaurant.

All parking and loading spaces will have to comply with LUO parking and loading requirements, including stall and back-up aisle dimensions, driveway widths, all-weather surface, landscaping, and a permanent irrigation system.

No changes to the KCC Main Campus are proposed as part of this application. A parking plan for the KCC Main Campus is attached herewith as Attachment 5.

3. Signage: The Applicant submitted a sign master plan with guidelines and specifications for the construction and placement of campus signage (Attachment 6). Garden signs with indirect illumination are proposed at the two entry driveways (one each) in the vicinity of the 17-foot road-widening setback along Diamond Head Road. In accordance with the Diamond Head Special District design guidelines, materials and finishes for all signage shall be non-reflective and subdued in nature, and no direct illumination shall be permitted.

C. Project Impacts:

1. Construction: Construction activities that occur close to existing dwellings, and public areas or thoroughfares, could generate impacts such as fugitive dust during all phases of construction. The Applicant will be required to comply with applicable federal, state, and city laws related to fugitive dust. Therefore, a condition of approval addressing these issues is not needed or recommended.

2. Visual Impacts:

- a. Scale:

The DHSM is a prominent landmark within urban Honolulu. The Applicant states that the proposed CIP project will be designed, to the extent possible, to minimize the appearance of the facility from public streets and public viewing areas. According to the applicant, structures will be designed to have architectural scale, exterior finish, materials, colors, components and features that relate in a compatible manner to the surroundings. All structures on site will be single story, with a maximum height of approximately 25 feet, and of structural steel, wood beam, stud frame, concrete, and concrete masonry constructions. The Applicant states that materials, finishes and colors, including roofs, will be subdued in nature. Elevations of the proposed structures are attached as Attachment 7.

The site layout and design of the structures will be scrutinized during the review of the Special District Permit application for compliance with the Diamond Head Special District Design Controls in the LUO; hence, a PRU condition to address the above is not needed.

- b. Landscaping and Open Space:

The Applicant states that the proposed landscape plan (Attachment 8) for the proposed project will support the landscape objectives as described in the DHSM Master Plan Update. The majority of the plantings will be primarily native or Polynesian introduced species that exist or formerly existed in and around the Diamond Head coastal ecosystem. Plants will be chosen for their suitability to the dry, coastal climate, and their ability to survive with minimal supplemental watering.

The DHSM is a vital open space resource within urban Honolulu. The Applicant indicates that all new structures will be less than 25 feet high, and will be partially screened by existing, relocated, and new trees. The Applicant indicates that the approximate location of 46 potential parking

stalls for the DHSM visitors is in an area with no existing trees. New medium-sized trees proposed for this area may be relocated when plans to construct the 46 parking spaces are initiated. The SMA Permit (No. 2010/SMA-18) granted for the proposal included a condition requiring implementation of the Landscape Master Plan; hence, a similar condition is not needed here.

c. Exterior Lighting:

The Applicant submitted an exterior lighting master plan for the site (Attachment 9). To prevent glare and light spillage on surrounding properties and public rights-of-way, all exterior lighting shall be required to be shielded and directed away from adjoining properties and public rights-of-way.

3. Noise: Construction activities will generate short-term noise impacts. The Applicant indicates that construction activities will be monitored to ensure compliance with the State Department of Health Administrative Rules, Chapter 11-46 relating to community noise control. The Applicant also notes that the buildings will be mostly enclosed, minimizing noise impacts from various teaching/learning activities, and dense landscaping buffers along the boundaries shared by abutting dwellings will be installed. To ensure that noise impacts to adjacent dwellings are minimized, the Applicant shall be required to install minimum 6-foot high landscaped buffers and/or 6-foot high solid wall along the property line abutting the residences on Wauke Street.

D. Impact on Public Facilities:

1. Water/Fire: The BWS indicates that the existing water system is presently inadequate to accommodate the proposed development, and the applicant will be required to extend the water main from the Metro 405-foot system at the intersection of McCorriston and Trousseau Streets in order to service the project. The BWS states that a fire hydrant should be installed within 125 linear feet of the property to satisfy off-site fire protection requirements, and on-site fire protection requirements should be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department. The Applicant will be required to submit construction drawings for all proposed water systems improvements to BWS for review and approval, and the final decision on the availability of water will be confirmed when building permits are submitted for review and approval. When water is made available, the BWS will require the applicant to pay the Water System Facilities Charges for resource development, transmission, and daily storage. The proposed projects are subject to BWS Cross-Connection Control and Backflow Prevention requirements prior to the issuance of the building permit applications.

The Honolulu Fire Department (HFD) commented that, pursuant to Section 902.2.1 of the 1997 Uniform Fire Code, the Applicant must provide a fire apparatus access road for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from a fire apparatus access road as measured by an approved route around the exterior of the building or facility. Additionally, on-site

fire hydrants and mains capable of supplying the required fire flow shall be provided when any portion of the facility or building is in excess of 150 feet from a water supply on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, in accordance with Section 903.2 of the Uniform Fire Code. The HFD further requested that civil and construction drawings be submitted to the HFD for its review and approval.

Compliance with BWS requirements will be confirmed when development permit applications are submitted for review and approval. However, not all development permit applications are routed to HFD. Hence, to ensure compliance with HFD requirements, it is recommended that the Applicant submit construction plans and building permit plans to the HFD for review and approval be included as a condition of approval.

2. Wastewater: The area is serviced by the municipal wastewater system. At full build out, the CIP facility is expected to have up to 297 full-time students, faculty, and staff (average water use is 25 gallons per day per person). The teaching restaurant will prepare up to 500 meals per day, producing five gallons of wastewater per meal. Therefore, a total daily flow of 9,919 gallons per day of wastewater is estimated. Based on peak daily flow calculations (0.0809 million gallons per day) a new 6-inch lateral would be necessary to connect to the existing manhole of the 8-inch sewer line at Monsarrat Avenue, about 90 feet west of the intersection of Trousseau Street and Monsarrat Avenue. The installation of a grease trap will be required before connecting the teaching restaurant. The DPP Wastewater Branch commented that sewer capacity is available on Monsarrat Avenue for the project, and the Applicant is required to submit a Site Development Master Application for Sewer Connection.
3. Grading, Flooding and Drainage: The site was previously graded and tiered for the construction of the former Cannon Club facility. The proposed project will utilize the existing topography for the new facilities, including the roads and parking areas, to minimize the amount of new grading necessary. New earthwork for the project is estimated at 13,130 cubic yards.

The site contains drainage systems that consist of natural swales, concrete cut-off ditches, drain lines, and man-made grass swales. Natural swales carry runoff from the lip of Diamond Head Crater, at an elevation of approximately 450 feet, through the existing Cannon Club location. Cut-off ditches along the perimeter of the site intercept the off-site runoff and convey the flow via a series of inlets and reinforced concrete pipes (RCP) to the lower section of the site. The lowest area of the site, near Trousseau Street, contains the remnants of a grass swale. The area has not been maintained and is filled with debris. Archived plans indicate that the swale discharged to a 30-inch RCP drain line, which connected to a 4 x 4-foot box culvert under Diamond Head Road; however, there is no evidence of an inlet to the box culvert. There is a 24-inch RCP which crosses Diamond Head Road near the driveway that leads up to the Cannon Club facility, but like the other existing on-site drainage systems, it is no longer operational.

The hydrologic analysis done for the site was based on the premise that the entire site would drain to a single point; the lowest point of the site at the catch basin on Diamond Head Road at the intersection with Trousseau Street. It included a total area of about 17 acres. The total storm water drainage flow for

the existing conditions is about 32 cubic feet per second (cfs). Preliminary calculations show that storm water drainage will only increase by 1.0 cfs for the overall drainage area (which will need to be recalculated in a subsequent drainage report). However, the two existing drain line connections at Diamond Head Road can be reused (i.e., the 30-inch RCP with the 4 x 4-foot box culvert and the 24-inch RCP). All other drain lines on-site should be excavated and removed or filled and abandoned in-place. A cut-off ditch along the upper boundary of the site could divert off-site runoff around the site so that it will not need to be treated for storm water quality, unlike the on-site runoff. That ditch would then discharge into the underground system that connects to the City system in Diamond Head Road. Storm water quality requirements can be met by either detaining storm water long enough to allow pollutants to settle, by use of filtration or infiltration methods, or a combination of both.

The DPP Civil Engineering Branch (CEB) noted that their comments were addressed in the Final EA and they have no additional comments to offer at this time. The Applicant is required to submit construction plans to the DPP for review and approval. Drainage and erosion impacts will be evaluated as part of the review process for the grading work, and the use of Best Management Practices (BMP) will be required to prevent drainage and erosion problems during and after construction.

The SMA Permit granted for the proposal included a condition requiring the applicant to obtain grading and/or stockpiling permits from the DPP CEB. As a condition of approval for this PRU Permit, the Applicant is required to comply with all the conditions of the SMA Permit. Hence, a condition of approval addressing the above is not necessary here.

4. Rockfall Hazards: A rockfall analysis conducted for the site concluded that there is a limited potential for rockfalls from the slopes of Diamond Head. It determined that a standard six-foot high, chain-link fence placed upslope of new structures should be sufficient to intercept the relatively small-sized rocks which might fall on occasion. A condition addressing the above is included in the SMA Permit granted for the proposal; hence, it is not necessary to include this as a condition of approval here.
  5. Solid Waste: Solid waste (trash) generated by the new facility is estimated to be 637 pounds per day, which does not include solid waste which will be recycled. The Applicant indicates that solid waste generated during construction and when the facilities are in full operation will be collected by a private collection service and disposed of at an approved municipal waste facility.
- E. Streets and Transportation: Access to the CIP campus will be via two, two-way driveways along Diamond Head Road fronting the site. Diamond Head Road within the vicinity of the project site is an east-west, two-lane, two-way roadway, with intersections at Trousseau Street, Makapuu Avenue, and 18<sup>th</sup> Avenue. None of the above intersections are signalized.

A traffic study prepared by PB Americas, Inc. in May 2008, evaluated project-related traffic impacts to the surrounding roadway system. The study concludes that the

addition of the CIP would have a minor impact on the roadway operations. It is noted that while delays experienced by minor street approaches along Diamond Head Road would increase, these increases would not be significant.

The State Department of Transportation (SDOT), the Department of Transportation Services (DTS), and the DPP Traffic Review Branch (TRB) reviewed the PRU Permit application and the traffic study. The SDOT commented that no significant, adverse impacts to its transportation facilities are anticipated by the proposed development. The following is a summary of recommendations by the DPP TRB and the DTS to address traffic related issues:

1. A time line or phasing plan of the anticipated dates to obtain major building permits for the commencement of construction and occupancy of buildings for the planned improvements should be prepared by the applicant. The time line should specify when the Construction Management Plan (CMP) and the Transportation Management Plan (TMP) will be submitted for review and approval.
2. The CMP should be prepared and submitted prior to the issuance of building permits and shall identify the type, frequency and routing of heavy trucks and construction-related vehicles. Every effort shall be made to minimize impacts from these vehicles and related construction activities. The CMP should include provisions to limit vehicular activity to periods outside of the peak periods of traffic, utilizing alternate routes for heavy trucks, staging locations for construction related workers and vehicles and other mitigation measures related to traffic. The Applicant shall document the condition of roadways prior to the start of construction activities and provide remedial measures, as necessary, such as restriping, road resurfacing and/or reconstruction if the condition of the roadways has deteriorated as a result of the construction activities.
3. The TIAR should be expanded to include traffic signal warrant analysis at unsignalized intersections in the vicinity of this project. Traffic signals should be installed by the applicant, if warranted. There is a 17-foot road widening planned along Diamond Head Road. The pavement should be widened to provide a left turn into the driveways and a separate acceleration lane in the street for left turns out of the driveways. The length of the left turn lane into the site should account for storage and deceleration. The TIAR should also be updated three years after the completion of the project to validate the projected trip generation rates and traffic assignment volumes at each driveway, as contained in the initial report dated February 2008. The update should identify whether additional traffic mitigation measures are necessary to support this development. The cost to implement the proposed mitigation measures shall be borne by the applicant.
4. A TMP should be prepared and include traffic demand management (TDM) strategies in an effort to minimize the amount of vehicular trips being generated by the existing facilities and uses for daily activities as well as for large events, if appropriate, and any development. The TDM strategies could include carpooling and ride sharing programs, transit incentives and other similar TDM measures. An enhanced pedestrian/bicycle pathway should be constructed along Diamond Head Road between the main campus and the new facility to encourage this type of mode of travel.

5. Vehicular access points should be constructed as standard City dropped driveways. Adequate vehicular sight distance should be provided and maintained at all driveways to pedestrians and other vehicles. Driveway grades should not exceed 5 percent for a minimum distance of 25 feet from the future sidewalk.
6. Construction plans for all work within or affecting public streets should be submitted for review. Traffic control plans during construction should be submitted for review and approval, as required.
7. The gates should be significantly set back from the right-of-way to assure that entering vehicles will not queue into Diamond Head Road.
8. A Street Usage Permit from DTS is required for construction work that may require the temporary closure of any City street, traffic lane, or sidewalk.
9. The project must comply with the appropriate provisions of the Americans with Disabilities Act (ADA). On-site and internal traffic should be designed to facilitate the City's TheHandi-Van's 31-foot turning radius and 10.5-foot height clearance.
10. The DTS Public Transit Division should be contacted to discuss the feasibility of the proposed bus stop shown on the CIP Site Plan.
11. Pre-consultation notes shall include the following transit note: "This project will affect bus routes, bus stops, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 848-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project at least two weeks prior to construction of the project."
12. Prior to the start of the project, all affected Neighborhood Boards and adjoining lot owners and businesses should be informed about the scope and duration of the project.

The Applicant notes that construction of a left-turn lane at the eastern end may not be feasible as it involves the frontage of the adjoining lot of which the applicant has no control. Instead, the applicant proposes to install "No Left Turn" signs at the driveway.

It is premature to conclude that left-turn lanes or traffic signals are not warranted without an updated TIAR, which should include traffic signal warrant analysis at the unsignalized intersections in the vicinity of the project. Also, the DTS has confirmed that the City is not in a position now or in the foreseeable future to signalize the intersection of Diamond Head Road and Makapuu Avenue. The Applicant should work with the adjoining landowner, the Department of Land and Natural Resources (DLNR), and/or pertinent State and City officials to address traffic impact resulting from the project, including but not limited to installation of left-turn lanes and traffic signals in the vicinity, if warranted. At the minimum, and in the interest of public safety, interim mitigative measures or physical improvements (such as raised curbs and traffic islands) to prohibit left turns from and onto the roadway should be in place prior to occupancy of the CIP structures.

The Applicant indicates that the CIP project plans to connect with the proposed Linear Park's multi-purpose path along the south side of Diamond Head. It is unclear as to when the proposed Linear Park will be implemented, but improvements to the pathway connecting the KCC Main Campus and the CIP Campus to encourage walking and biking between the two campuses should be in place prior to the occupancy of the CIP facilities.

- F. Socio-Economic Impacts: The proposed Culinary Institute of the Pacific will provide construction jobs in the short-term, and 17 new teaching, administrative and staff positions in the long term with the expanded culinary program. Increases in available resources and faculty will afford students an opportunity to acquire enhanced training skills resulting in improved employment opportunities upon graduation. Indirect jobs will be created at businesses directly involved with the project through the purchase of goods and services in the local economy. The proposed project could potentially attract additional students, faculty and staff to the surrounding neighborhoods; however, the project is not expected to significantly increase the student population.

#### IV. CONCLUSIONS OF LAW

The Director hereby makes the following Conclusions of Law: Based on the foregoing analysis, the proposed CIP meets the intent of the Plan Review Use Permit. The proposed project, subject to appropriate conditions, will maintain the existing essential character of the host neighborhood in terms of land use and urban design, and will not adversely impact or unreasonably burden existing municipal facilities and/or services.

The Director of the Department of Planning and Permitting deems the proposal to be appropriate for the project site, with conditions.

#### V. RECOMMENDATION

The Director of the Department of Planning and Permitting (DPP) recommends that the application for a Plan Review Use (PRU) Permit to allow development of the Culinary Institute of the Pacific (CIP) be APPROVED, subject to the following conditions. A draft resolution is attached (Attachment 1).

1. This PRU Permit pertains to the land area described on the map attached hereto as Exhibit A.
2. Development of the site shall be in general conformance with Exhibit "B," attached hereto (labeled "KCC – CIP Site Plan"), and the plans and drawings on file with the DPP, and as described in the Director's Report. The Director of the DPP may approve minor or non-substantive deviations. Major modifications, as determined by the Director of the DPP, shall require a new PRU Permit.
3. The Applicant shall comply with all conditions of the Special Management Area (SMA) Use Permit (No. 2010/SMA-18, Resolution No. 10-144) granted for the proposal.
4. The Applicant shall submit all related construction plans and building permit plans to the Honolulu Fire Department (HFD) for its review and approval.

5. The Applicant shall prepare and submit to the DPP Traffic Review Branch (TRB) for its review and approval:
  - a. A time line or phasing plan of the anticipated dates to obtain major building permits for the commencement of construction and occupancy of buildings for the planned improvements to the CIP Campus prior to applying for any permits. This time line should specify when the Construction Management Plan (CMP) and the Transportation Management Plan (TMP) will be submitted for review and approval.
  - b. The CMP should be prepared and submitted prior to the issuance of building permits and shall identify the type, frequency and routing of heavy trucks and construction-related vehicles. Every effort shall be made to minimize impacts from these vehicles and related construction activities. The CMP should include provisions to limit vehicular activity to periods outside of the peak periods of traffic, utilizing alternate routes for heavy trucks, staging locations for construction-related workers and vehicles and other mitigation measures related to traffic. The Applicant shall document the condition of roadways prior to the start of construction activities and provide remedial measures, as necessary, such as restriping, road resurfacing and/or reconstruction if the condition of the roadways has deteriorated as a result of the construction activities.
  - c. The TIAR should be expanded to include a traffic signal warrant analysis at unsignalized intersections and a left turn analysis in the vicinity of this project prior to applying for any permits. Traffic signals should be installed by the applicant, if warranted. There is a 17-foot road widening planned along Diamond Head Road. The pavement should be widened to provide a left turn into the driveways and a separate acceleration lane in the street to accommodate left turns out of the driveways. The length of the left turn lane should account for storage and deceleration. The left turn lanes should be implemented prior to the occupancy of the facilities. If implementation of the left turn lanes is not feasible prior to occupancy, the Applicant shall consult with the TRB regarding acceptable alternative physical improvements to prevent/reduce left turns onto and from Diamond Head Road, such as raised curb traffic island at the driveway to allow right-turn only movement, prior to building permit approval. The TIAR should also be updated three years after the completion of the project to validate the projected trip generation rates and traffic assignment volumes at each driveway, as contained in the initial report dated February 2008. The update should identify whether additional traffic mitigation measures are necessary to support this development. The cost to implement the proposed mitigation measures shall be borne by the Applicant.
  - d. A TMP should be prepared and include traffic demand management (TDM) strategies in an effort to minimize the amount of vehicular trips generated by the existing facilities and uses for daily activities as well as for large events, if appropriate, and any development. The TDM strategies could include carpooling and ride sharing programs, transit incentives and other similar TDM measures. An enhanced pedestrian/bicycle pathway should be constructed along Diamond Head Road between the main campus and the new facility to encourage this type of mode of travel. The Applicant should coordinate with the Department of Land and Natural Resources (DLNR) States Parks Divisions regarding the timing and implementation of the proposed Linear Park's multi-purpose path along the south

side of Diamond Head. Improvements to the pathway connecting the KCC Main Campus and the CIP Campus to encourage walking and biking between the two campuses should be in place prior to the occupancy of the CIP facilities.

- e. Vehicular access points should be constructed as standard City dropped driveways. Adequate vehicular sight distance should be provided and maintained at all driveways to pedestrians and other vehicles. Driveway grades should not exceed 5 percent for a minimum distance of 25 feet from the future sidewalk.
6. The Applicant shall submit construction plans for all work within or affecting public streets, including traffic control plans during construction, to the DPP for review and approval prior to construction.
7. The proposed gates shall be set back a minimum of 25 feet from the edge of the new sidewalk (the edge farthest from the center line of the street).
8. The Applicant shall obtain a Street Usage Permit from the Department of Transportation Services (DTS) for construction work that may require the temporary closure of any City street, traffic lane, or sidewalk.
9. The Applicant shall address the following with the DTS Public Transit Division prior to the approval of the construction plans:
  - a. Compliance with the appropriate provisions of the Americans with Disabilities Act (ADA). On-site and internal traffic should be designed to facilitate the City's TheHandi-Van's 31-foot turning radius and 10.5-foot height clearance.
  - b. Feasibility of the proposed bus stop shown on the CIP Site Plan.
  - c. Pre-consultation notes shall include: "This project will affect bus routes, bus stops, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 848-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project at least two weeks prior to construction of the project."
10. Prior to the start of the project, all affected Neighborhood Boards and adjoining lot owners and businesses should be informed about the scope and duration of the project.
11. The Applicant shall install minimum 6-foot high landscaped buffers and/or 6-foot high solid wall along the property line abutting the residences on Wauke Street.
12. All exterior lighting shall be shielded to prevent glare and light spillage on adjoining properties and/or public rights-of-way.
13. Approval of this PRU Permit does not constitute compliance with other governmental agencies' requirements, which are subject to separate review and approval. The Applicant shall be responsible to obtain all other governmental approvals or permits which may be required for the proposed projects.

14. As may be required by the Director of the DPP for the review of development permits, the Applicant shall submit reports updating the status of its compliance with applicable conditions.

Dated at Honolulu, Hawaii, this 23rd day of September, 2010.

Department of Planning and Permitting  
City and County of Honolulu  
State of Hawaii

By: 

David K. Tanoue, Director

DKT:cs  
Attachments

# **ATTACHMENT 1**



## RESOLUTION

APPROVING AN APPLICATION FOR A PLAN REVIEW USE PERMIT FOR  
KAPIOLANI COMMUNITY COLLEGE, CULINARY INSTITUTE OF THE PACIFIC.

WHEREAS, the Department of Planning and Permitting (DPP) on May 26, 2010, accepted the application from the Kapiolani Community College (KCC), University of Hawaii, herein referred to as the Applicant, for a Major Modification to Plan Review Use Permit (PRU) No. 87/PRU-3, for the development of a new culinary institute for the KCC on the former Fort Ruger Cannon Club site, which is on land zoned F-1 Military and Federal Preservation and P-2 General Preservation Districts, located at 4500 Diamond Head Road, Diamond Head and identified by Tax Map Key 3-1-42: 11, Reference Number 87/PRU-3, attached as Exhibit A; and

WHEREAS, the City Council held a public hearing on \_\_\_\_\_, to consider said application for a Plan Review Use Permit; and

WHEREAS, on \_\_\_\_\_, the City Council, having duly considered all of the evidence and reports offered at said public hearing, recommended approval of the subject application for a Plan Review Use Permit with certain conditions enumerated below; now therefore,

BE IT RESOLVED by the Council of the City and County of Honolulu that a Plan Review Use Permit be issued to the Applicant under the following conditions:

1. This PRU Permit pertains to the land area described on the map attached hereto as Exhibit A.
2. Development of the site shall be in general conformance with Exhibit "B," attached hereto (labeled "KCC – CIP Site Plan"), and the plans and drawings on file with the DPP, and as described in the Director's Report. The Director of the DPP may approve minor or non-substantive deviations. Major modifications, as determined by the Director of the DPP, shall require a new PRU Permit.
3. The Applicant shall comply with all conditions of the Special Management Area (SMA) Use Permit (No. 2010/SMA-18, Resolution No. 10-144) granted for the proposal.

DPP10PRU4.R10



## RESOLUTION

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4. The Applicant shall submit all related construction plans and building permit plans to the Honolulu Fire Department (HFD) for its review and approval.
5. The Applicant shall prepare and submit to the DPP Traffic Review Branch (TRB), for its review and approval:
  - a. A time line or phasing plan of the anticipated dates to obtain major building permits for the commencement of construction and occupancy of buildings for the planned improvements to the CIP Campus, prior to applying for any permits. This time line should specify when the Construction Management Plan (CMP) and the Transportation Management Plan (TMP) will be submitted for review and approval.
  - b. The CMP should be prepared and submitted prior to the issuance building permits and shall identify the type, frequency and routing of heavy trucks and construction-related vehicles. Every effort shall be made to minimize impacts from these vehicles and related construction activities. The CMP should include provisions to limit vehicular activity to periods outside of the peak periods of traffic, utilizing alternate routes for heavy trucks, staging locations for construction-related workers and vehicles and other mitigation measures related to traffic. The Applicant shall document the condition of roadways prior to the start of construction activities and provide remedial measures, as necessary, such as restriping, road resurfacing and/or reconstruction if the condition of the roadways has deteriorated as a result of the construction activities.
  - c. The TIAR should be expanded to include a traffic signal warrant analysis at unsignalized intersections and a left turn analysis in the vicinity of this project, prior to applying for any permits. Traffic signals should be installed by the applicant, if warranted. There is a 17-foot road widening planned along Diamond Head Road. The pavement should be widened to provide a left turn into the driveways and a separate acceleration lane in the street to accommodate left turns out of the driveways. The length of the left turn lane should account for storage and deceleration. The left turn lands should be implemented prior to the occupancy of the facilities. If implementation of the left turn lanes is not feasible prior to occupancy, the applicant shall consult with the TRB regarding acceptable alternative physical improvements to



## RESOLUTION

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prevent/reduce left turns onto and from Diamond Head Road, such as a raised curb traffic island at the driveway to allow right-turn only movement, prior to building permit approval. The TIAR should also be updated three years after the completion of the project to validate the projected trip generation rates and traffic assignment volumes at each driveway, as contained in the initial report dated February 2008. The update should identify whether additional traffic mitigation measures are necessary to support this development. The cost to implement the proposed mitigation measures shall be borne by the Applicant.

- d. A TMP should be prepared and include traffic demand management (TDM) strategies in an effort to minimize the amount of vehicular trips being generated by the existing facilities and uses for daily activities as well as for large events, if appropriate, and any development. The TDM strategies could include carpooling and ride sharing programs, transit incentives and other similar TDM measures. An enhanced pedestrian/bicycle pathway should be constructed along Diamond Head Road between the main campus and the new facility to encourage this type of mode of travel. The Applicant should coordinate with the Department of Land and Natural Resources (DLNR) States Parks Divisions regarding the timing and implementation of the proposed Linear Park's multi-purpose path along the south side of Diamond Head. Improvements to the pathway connecting the KCC Main Campus and the CIP Campus to encourage walking and biking between the two campuses should be in place prior to the occupancy of the CIP facilities.
  - e. Vehicular access points should be constructed as standard City dropped driveways. Adequate vehicular sight distance should be provided and maintained at all driveways to pedestrians and other vehicles. Driveway grades should not exceed 5 percent for a minimum distance of 25 feet from the future sidewalk.
6. The Applicant shall submit construction plans for all work within or affecting public streets, including traffic control plans during construction, to the DPP for review and approval prior to construction.
  7. The proposed gates shall be set back a minimum of 25 feet from the edge of the new sidewalk (the edge farthest from the center line of the street).



## RESOLUTION

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8. The Applicant shall obtain a Street Usage Permit from the Department of Transportation Services (DTS) for construction work that may require the temporary closure of any City street, traffic lane, or sidewalk.
9. The Applicant shall address the following with the DTS Public Transit Division prior to the approval of the construction plans:
  - a. Compliance with the appropriate provisions of the Americans with Disabilities Act (ADA). On-site and internal traffic should be designed to facilitate the City's TheHandi-Van's 31-foot turning radius and 10.5-foot height clearance.
  - b. Feasibility of the proposed bus stop shown on the CIP Site Plan.
  - c. Pre-consultation notes shall include: "This project will affect bus routes, bus stops, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 848-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project at least two weeks prior to construction of the project."
10. Prior to the start of the project, all affected Neighborhood Boards and adjoining lot owners and businesses should be informed about the scope and duration of the project.
11. The applicant shall install minimum 6-foot high landscaped buffers and/or 6-foot high solid wall along the property line abutting the residences on Wauke Street.
12. All exterior lighting shall be shielded to prevent glare and light spillage on adjoining properties and/or public rights-of-way.
13. Approval of this PRU Permit does not constitute compliance with other governmental agencies' requirements, which are subject to separate review and approval. The Applicant shall be responsible to obtain all other governmental approvals or permits which may be required for the proposed projects.



RESOLUTION

14. As may be required by the Director of the DPP for the review of development permits, the Applicant shall submit reports updating the status of its compliance with applicable conditions.

BE IT FINALLY RESOLVED by the Council of the City and County of Honolulu that the Clerk be and is directed to transmit copies of this resolution to David K. Tanoue, Director of the Department of Planning and Permitting, 650 South King Street, 7th Floor, Honolulu, Hawaii 96813; Vincent Shigekuni, PBR Hawaii & Associates, 1001 Bishop Street, ASB Tower Suite 650, Honolulu, Hawaii 96813; and John Morton, University of Hawaii Capital Improvement Projects, Biomed B-102, 1960 East-West Road, Honolulu, Hawaii 96822.

INTRODUCED BY:

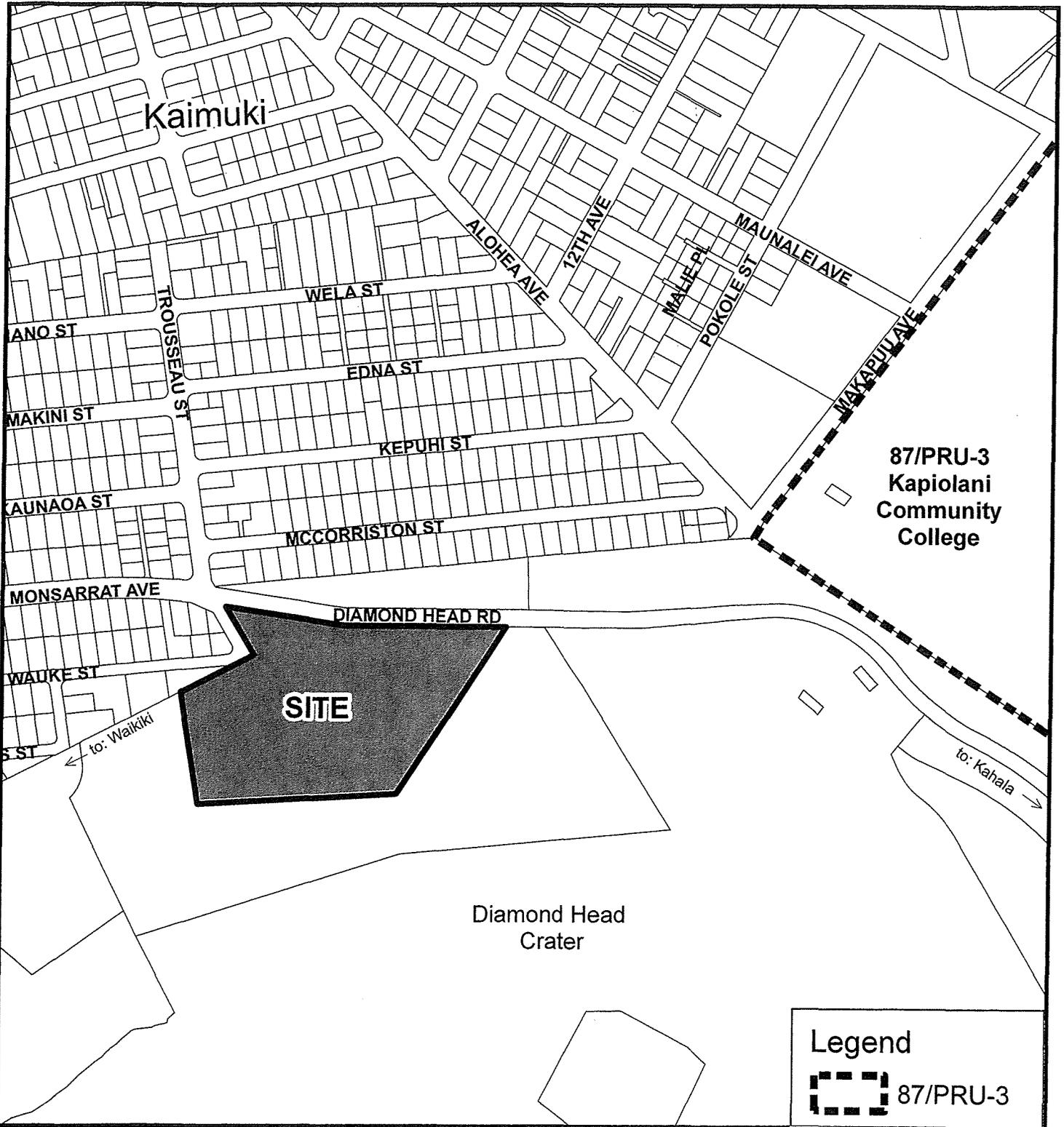
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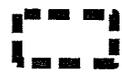
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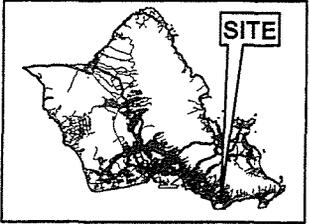
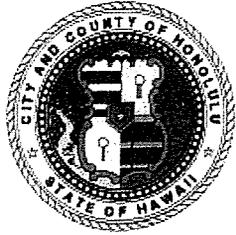
\_\_\_\_\_  
Honolulu, Hawaii

\_\_\_\_\_  
Councilmembers

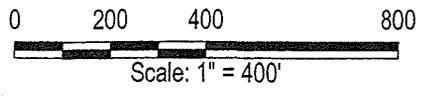


**Legend**

 87/PRU-3



VICINITY MAP

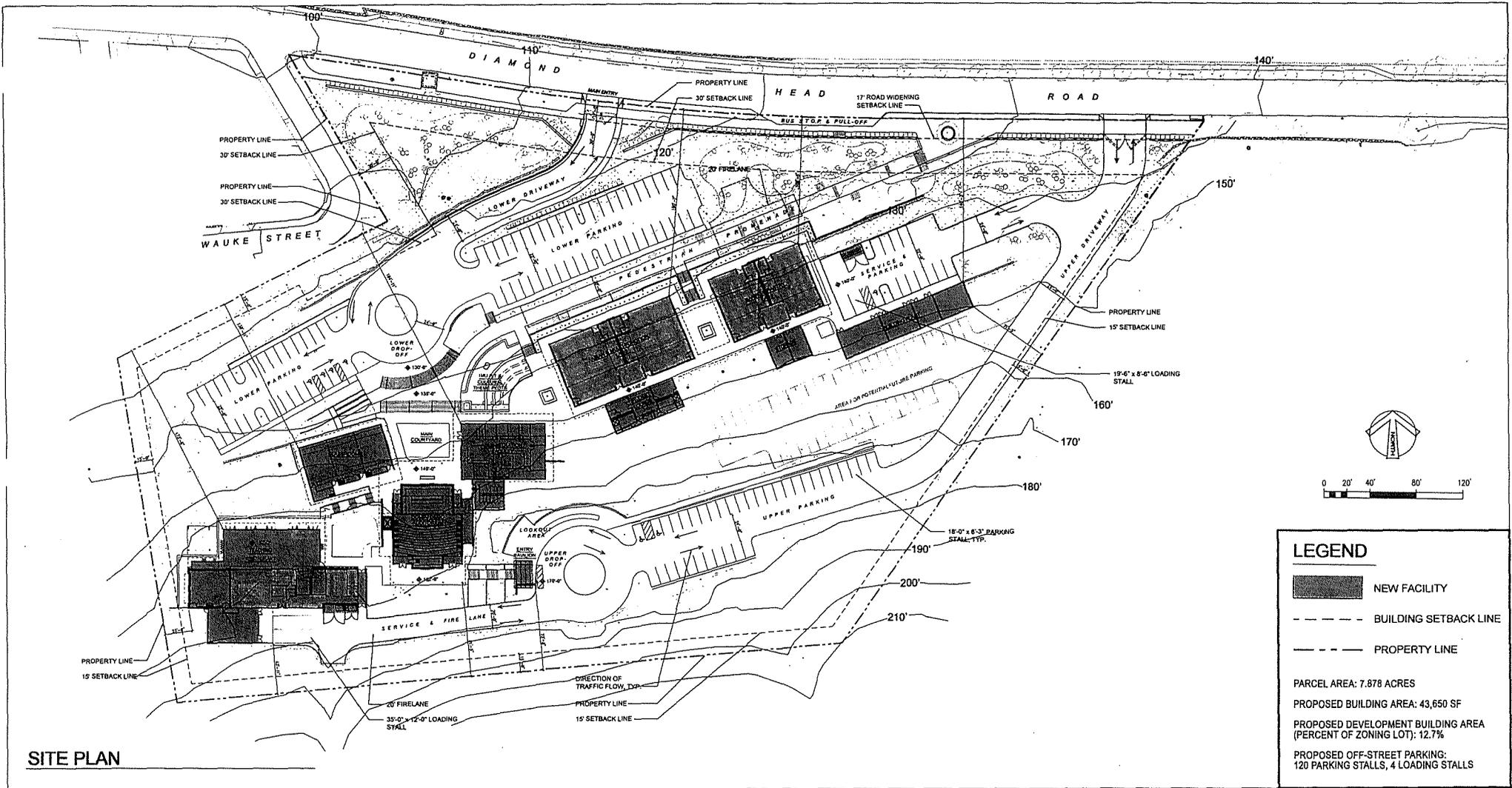


**LOCATION MAP**  
**Culinary Institute of the Pacific**

**TAX MAP KEY(S): 3-1-042:011**

**FOLDER NO.: 87/PRU-3**

**EXHIBIT A**



**LEGEND**

Adjacent Land Uses

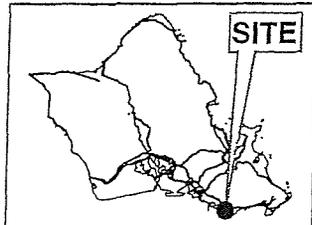
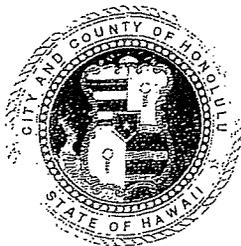
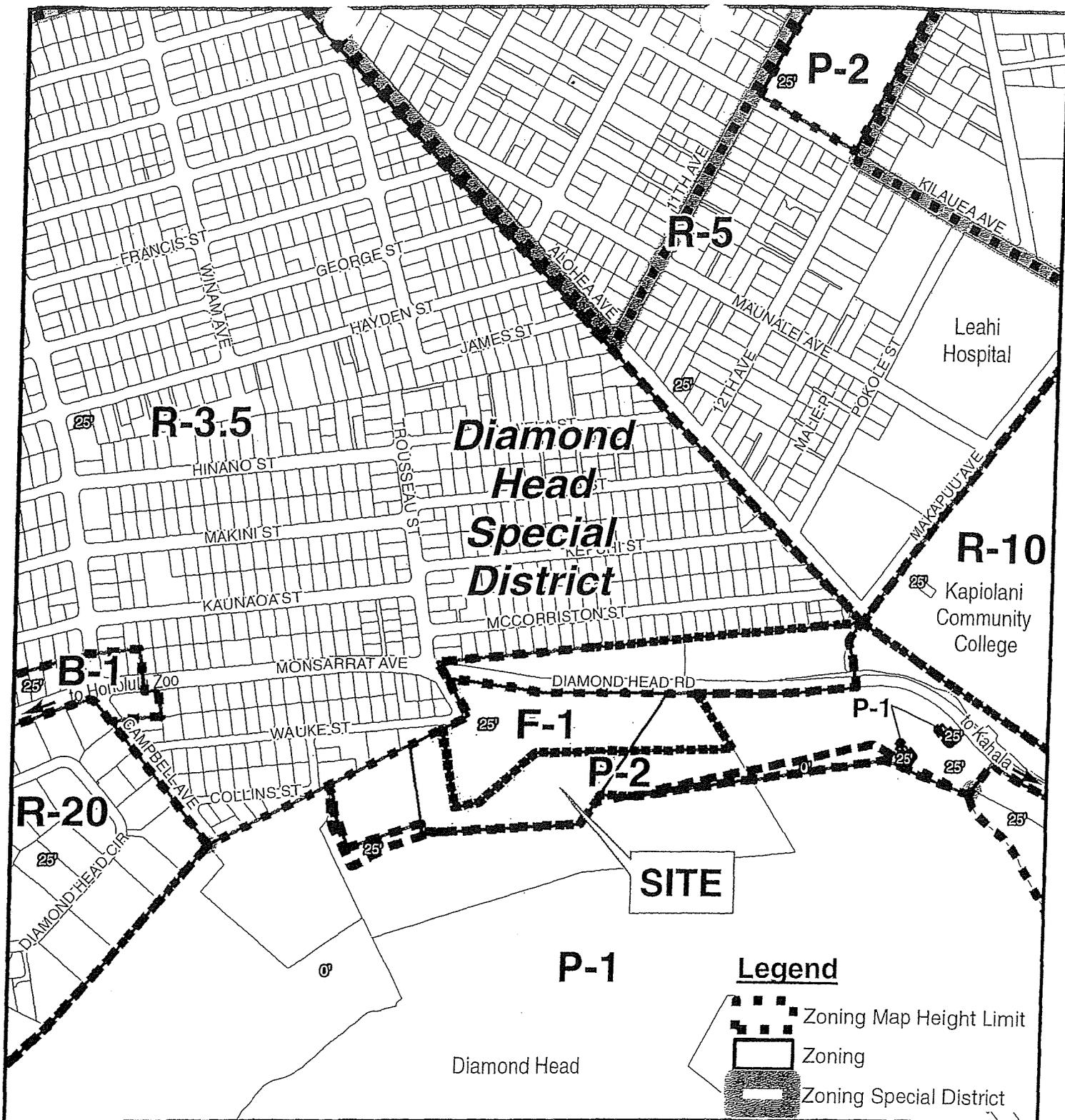
- Public Facility
- Diamond Head State Monument
- Residential

Source: Ferrara Choi and Associates, Ltd.  
 Disclaimer: This graphic has been prepared for general planning purposes only.  
 C:\Cahu\Cannon Club\Photoshop\Site DWG

Figure 5  
 KCC CIP Site Plan  
**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
 University of Hawai'i ISLAND OF O'AHU



## **ATTACHMENT 2**



VICINITY MAP



0 250 500  
Scale in Feet

PORTION OF  
**EXISTING ZONING MAP**  
(MOILIILI - KAIMUKI)

TAX MAP KEY(S): 3-1-042:011

FOLDER NO.: 87/PRU-3

## **ATTACHMENT 3**

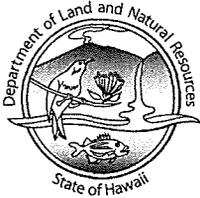


## **ATTACHMENT 4**

LINDA LINGLE  
GOVERNOR OF HAWAII



LAURA H. THIELEN  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
LAND DIVISION

POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

July 14, 2010

Department of Planning & Permitting  
City & County of Honolulu  
650 South King Street 7th Floor  
Honolulu, Hawaii 96813

Attention: Mr. Lin Wong

Ladies and Gentlemen:

Subject: Major Modification to Plan Review Use (PRU) Permit No. 87/PRU-3

Thank you for the opportunity to review and comment on the subject matter. The Department of Land and Natural Resources' (DLNR), Land Division distributed or made available a copy of your report pertaining to the subject matter to DLNR Divisions for their review and comment.

Other than the comments from Commission on Water Resource Management, Office of Conservation & Coastal Lands, Historic Preservation, Land Division-Oahu District, Engineering Division, the Department of Land and Natural Resources has no other comments to offer on the subject matter. Should you have any questions, please feel free to call our office at 587-0433. Thank you.

Sincerely,

  
for Morris M. Atta  
Acting Administrator

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

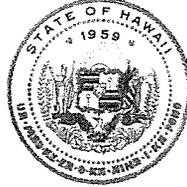
10 JUL 16 AIO:43

RECEIVED

LINDA LINGLE  
GOVERNOR OF HAWAII



RECEIVED  
LAND DIVISION



2010 JUN 28 P 12:15

STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
HAWAII HISTORIC PRESERVATION DIVISION  
1601 KAMOKILA BOULEVARD, ROOM 555  
KAPOLEI, HAWAII 96707

LAURA H. THIELEN  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT

KEN C. KAWAHARA  
DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
BUREAU OF CONVEYANCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
CONSERVATION AND COASTAL LANDS  
CONSERVATION AND RESOURCES ENFORCEMENT  
ENGINEERING  
FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
KAHOOLAWE ISLAND RESERVE COMMISSION  
LAND  
STATE PARKS

DATE: June 16, 2010

LOG: 2010.2222

TO: Land Division  
Department of Land and Natural Resources  
Post Office Box 621  
Honolulu, HI 96809

DOC: 1006RS41

SUBJECT: Chapter 6E-8 Historic Preservation Review/ Multi-Permit Application: Plan Review Use Permit and Special Management Area use Permit -- Major Permit # (None)  
**Building Owner:** Culinary Institute of the Pacific, Kapiolani Community College, University of Hawaii  
**Location:** Old Cannon Club Site, Fort Ruger  
**Tax Map Key:** (1) 3-1-042:011

This letter is in response to our receipt of a *Multi-Permit Application: Plan Review Use Permit and Special Management Area use Permit – Major*, by PBR Hawaii & Associates, dated March 2010. Our office obtained this material on June 9, 2010. The report details the erection of 11 new structures that will be a maximum of 25 feet in height and cover approximately 12.7 percent of the site. Included will be four instructional kitchens, a demonstration auditorium, three classrooms, student lounge, locker areas, administrative offices, teaching restaurant, and entry pavilion. Two driveway/parking facilities will be constructed. The area of potential effect will be within the property off Diamond Head Road.

Placement of a culinary school on this site is appropriate given that this location was previously occupied by the Cannon Club, a restaurant facility sporting good views of Waikiki that was popular with soldiers from Fort Ruger and the general public alike. All the buildings of the former Club have long since been demolished, but the school can provide a similar experience to new generations of islanders.

The site is next to the Fort Ruger Historical District (Hawaii Register, November 19, 1982; National Register, July 14, 1983). It is also on the slopes of Diamond Head State Monument (April 9, 1962).

Plans show that the project follows our request that structures be one story in height so as to be historically compatible with the architecture of the Diamond Head neighborhood.

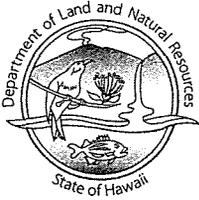
Our determination of the proposed project remains “no historic properties affected”.

Questions should be addressed to Ross W. Stephenson, SHPD Historian, at 692-8028 or ross.w.stephenson@hawaii.gov.

Mahalo for the opportunity to comment.

Pua Aiu, Administrator, Hawaii Historic Preservation Division (SHPD)

6/21/10  
Date



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
LAND DIVISION

2010 JUN -7 A 11: 05

POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

RECEIVED  
CONSERVATION  
LANDS

June 4, 2010

MEMORANDUM

TO: **DLNR Agencies:**

- Div. of Aquatic Resources
- Div. of Boating & Ocean Recreation
- Engineering Division
- Div. of Forestry & Wildlife
- Div. of State Parks
- Commission on Water Resource Management
- Office of Conservation & Coastal Lands
- Land Division - Oahu District
- Historic Preservation

CKW  
ZAWING  
RECEIVED  
LAND DIVISION  
2010 JUN -9 A 11: 31  
DEPT. OF LAND & NATURAL RESOURCES  
STATE OF HAWAII

FROM: Charlene Unoki, Assistant Administrator *Charlene*

SUBJECT: Plan Review Use Permit & Special Management Area Use Permit-Major for UH Kapiolani Community College Culinary Institute of the Pacific

LOCATION: Island of Oahu

APPLICANT: PBR Hawaii & Associates, Inc.

Transmitted for your review and comment on the above referenced document. We would appreciate your comments on this document. Please submit any comments by July 13, 2010.

Only 1 copy of the report available in Room 220.

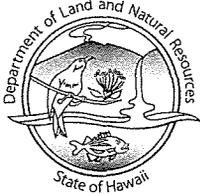
If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact my office at 587-0433. Thank you.

Attachments

- We have no objections.
- We have no comments. *Not in Conservation District*
- Comments are attached.

Signed: *MBaker*

Date: 6-9-10



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
LAND DIVISION

POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

June 4, 2010

MEMORANDUM

TO: *JH*

**DLNR Agencies:**

- Div. of Aquatic Resources
- Div. of Boating & Ocean Recreation
- Engineering Division
- Div. of Forestry & Wildlife
- Div. of State Parks
- Commission on Water Resource Management
- Office of Conservation & Coastal Lands
- Land Division – Oahu District
- Historic Preservation

FROM: *Jo*

Charlene Unoki, Assistant Administrator

*Charlene*

SUBJECT: Plan Review Use Permit & Special Management Area Use Permit-Major for UH Kapiolani Community College Culinary Institute of the Pacific

LOCATION: Island of Oahu

APPLICANT: PBR Hawaii & Associates, Inc.

Transmitted for your review and comment on the above referenced document. We would appreciate your comments on this document. Please submit any comments by July 13, 2010.

Only 1 copy of the report available in Room 220.

If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact my office at 587-0433. Thank you.

Attachments

- We have no objections.
- We have no comments.
- Comments are attached.

Signed: *T. Cho*

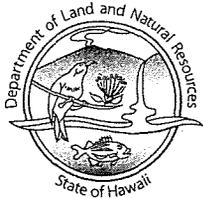
Date: *June 9, 2010*

*bc*



RECEIVED  
LAND DIVISION

2010 JUL 13 P 2:54



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
LAND DIVISION

POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

DEPT. OF LAND &  
NATURAL RESOURCES  
STATE OF HAWAII

June 4, 2010

MEMORANDUM

- TO: **DLNR Agencies:**
- Div. of Aquatic Resources
  - Div. of Boating & Ocean Recreation
  - Engineering Division
  - Div. of Forestry & Wildlife
  - Div. of State Parks
  - Commission on Water Resource Management
  - Office of Conservation & Coastal Lands
  - Land Division –Oahu District
  - Historic Preservation

FROM: Charlene Unoki, Assistant Administrator *Charlene*

SUBJECT: Plan Review Use Permit & Special Management Area Use Permit-Major for UH Kapiolani Community College Culinary Institute of the Pacific

LOCATION: Island of Oahu

APPLICANT: PBR Hawaii & Associates, Inc.

Transmitted for your review and comment on the above referenced document. We would appreciate your comments on this document. Please submit any comments by July 13, 2010.

Only 1 copy of the report available in Room 220.

If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact my office at 587-0433. Thank you.

Attachments

- We have no objections.
- We have no comments.
- Comments are attached.

Signed: *[Signature]*

Date: 7/13/10

**DEPARTMENT OF LAND AND NATURAL RESOURCES  
ENGINEERING DIVISION**

LD/CharleneUnoki

RE: Plan Review & SMAUPUH Community College

Oahu.783

COMMENTS

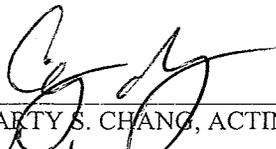
- ( ) We confirm that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Flood Zone \_\_\_\_.
- (X) **Please take note that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Flood Zone X. The Flood Insurance Program does not have any regulations for developments within Flood Zone X.**
- ( ) Please note that the correct Flood Zone Designation for the project site according to the Flood Insurance Rate Map (FIRM) is \_\_\_\_.
- ( ) Please note that the project must comply with the rules and regulations of the National Flood Insurance Program (NFIP) presented in Title 44 of the Code of Federal Regulations (44CFR), whenever development within a Special Flood Hazard Area is undertaken. If there are any questions, please contact the State NFIP Coordinator, Ms. Carol Tyau-Beam, of the Department of Land and Natural Resources, Engineering Division at (808) 587-0267.

Please be advised that 44CFR indicates the minimum standards set forth by the NFIP. Your Community's local flood ordinance may prove to be more restrictive and thus take precedence over the minimum NFIP standards. If there are questions regarding the local flood ordinances, please contact the applicable County NFIP Coordinators below:

- ( ) Mr. Robert Sumitomo at (808) 768-8097 or Mr. Mario Siu Li at (808) 768-8098 of the City and County of Honolulu, Department of Planning and Permitting.
- ( ) Mr. Frank DeMarco at (808) 961-8042 of the County of Hawaii, Department of Public Works.
- ( ) Mr. Francis Cerizo at (808) 270-7771 of the County of Maui, Department of Planning.
- ( ) Mr. Mario Antonio at (808) 241-6620 of the County of Kauai, Department of Public Works.

- (X) **The applicant should include water demands and infrastructure required to meet project needs. Please note that projects within State lands requiring water service from the Honolulu Board of Water Supply system will be required to pay a resource development charge, in addition to Water Facilities Charges for transmission and daily storage.**
- ( ) The applicant should provide the water demands and calculations to the Engineering Division so it can be included in the State Water Projects Plan Update.
- ( ) Additional Comments: \_\_\_\_\_  
\_\_\_\_\_
- ( ) Other: \_\_\_\_\_  
\_\_\_\_\_

Should you have any questions, please call Ms. Suzie S. Agraan of the Planning Branch at 587-0258.

Signed:   
CARY S. CHANG, ACTING CHIEF ENGINEER

Date: 7/13/10

LINDA LINGLE  
GOVERNOR OF HAWAII  
RECEIVED  
LAND DIVISION  
2010 JUL 14 A 10:03  
DEPT. OF LAND &  
NATURAL RESOURCES  
STATE OF HAWAII



LAURA H. THIELEN  
CHAIRPERSON  
WILLIAM D. BA. FOUR, JR.  
SUMNER ERDMAN  
NEAL S. FUJIWARA  
CHIYOME L. FUKINO, M.D.  
DONNA FAY K. KIYOSAKI, P.E.  
LAWRENCE H. MIKE, M.D., J.D.

LENORE N. OHYE  
ACTING DEPUTY DIRECTOR

STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
**COMMISSION ON WATER RESOURCE MANAGEMENT**  
P.O. BOX 621  
HONOLULU, HAWAII 96809

July 14, 2010

REF: KCC Culinary Institute Plan Review & SMA

TO: Morris Atta, Administrator  
Land Division

FROM: Lenore N. Ohye, Acting Deputy Director *Lenore N. Ohye*  
Commission on Water Resource Management

SUBJECT: Plan Review Use Permit & Special Management Area Use Permit-Major for UH Kapiolani  
Community College Culinary Institute of the Pacific

FILE NO.: NA  
TMK NO.: 3-1-42:11

Thank you for the opportunity to review the subject document. The Commission on Water Resource Management (CWRM) is the agency responsible for administering the State Water Code (Code). Under the Code, all waters of the State are held in trust for the benefit of the citizens of the State, therefore, all water use is subject to legally protected water rights. CWRM strongly promotes the efficient use of Hawaii's water resources through conservation measures and appropriate resource management. For more information, please refer to the State Water Code, Chapter 174C, Hawaii Revised Statutes, and Hawaii Administrative Rules, Chapters 13-167 to 13-171. These documents are available via the Internet at <http://www.hawaii.gov/dlnr/cwrm>.

Our comments related to water resources are checked off below.

- 1. We recommend coordination with the county to incorporate this project into the county's Water Use and Development Plan. Please contact the respective Planning Department and/or Department of Water Supply for further information.
- 2. We recommend coordination with the Engineering Division of the State Department of Land and Natural Resources to incorporate this project into the State Water Projects Plan.
- 3. We recommend coordination with the Hawaii Department of Agriculture (HDOA) to incorporate the reclassification of agricultural zoned land and the redistribution of agricultural resources into the State's Agricultural Water Use and Development Plan (AWUDP). Please contact the HDOA for more information.
- 4. We recommend that water efficient fixtures be installed and water efficient practices implemented throughout the development to reduce the increased demand on the area's freshwater resources. Reducing the water usage of a home or building may earn credit towards Leadership in Energy and Environmental Design (LEED) certification. More information on LEED certification is available at <http://www.usgbc.org/leed>. A listing of fixtures certified by the EPA as having high water efficiency can be found at <http://www.epa.gov/watersense/pp/index.htm>.

- 5. We recommend the use of best management practices (BMP) for stormwater management to minimize the impact of the project to the existing area's hydrology while maintaining on-site infiltration and preventing polluted runoff from storm events. Stormwater management BMPs may earn credit toward LEED certification. More information on stormwater BMPs can be found at <http://hawaii.gov/dbedt/czm/initiative/lid.php>.
- 6. We recommend the use of alternative water sources, wherever practicable.
- 7. There may be the potential for ground or surface water degradation/contamination and recommend that approvals for this project be conditioned upon a review by the State Department of Health and the developer's acceptance of any resulting requirements related to water quality.

Permits required by CWRM:

Additional information and forms are available at [http://hawaii.gov/dlnr/cwr/resources\\_permits.htm](http://hawaii.gov/dlnr/cwr/resources_permits.htm).

- 8. The proposed water supply source for the project is located in a designated water management area, and a Water Use Permit is required prior to use of water.
- 9. A Well Construction Permit(s) is (are) required any well construction work begins.
- 10. A Pump Installation Permit(s) is (are) required before ground water is developed as a source of supply for the project.
- 11. There is (are) well(s) located on or adjacent to this project. If wells are not planned to be used and will be affected by any new construction, they must be properly abandoned and sealed. A permit for well abandonment must be obtained.
- 12. Ground water withdrawals from this project may affect streamflows, which may require an instream flow standard amendment.
- 13. A Stream Channel Alteration Permit(s) is (are) required before any alteration(s) can be made to the bed and/or banks of a stream channel.
- 14. A Stream Diversion Works Permit(s) is (are) required before any stream diversion works is (are) constructed or altered.
- 15. A Petition to Amend the Interim Instream Flow Standard is required for any new or expanded diversion(s) of surface water.
- 16. The planned source of water for this project has not been identified in this report. Therefore, we cannot determine what permits or petitions are required from our office, or whether there are potential impacts to water resources.
- OTHER:  
The Commission strongly encourages the implementation of water conservation measures, best management practices to mitigate stormwater runoff, and the reuse of stormwater, where practicable. The Commission has published a Water Conservation Manual for State of Hawaii Facilities (2007) that lists conservation measures for restrooms, kitchens, landscaping, and cooling. The Commission has also published a Handbook for Stormwater Reclamation and Reuse Best Management Practices in Hawaii (2008). Please visit the Commission's website at <http://hawaii.gov/dlnr/cwr> to view or download a copy of these documents.

If there are any questions, please contact Commission staff at 587-0216.

LINDA LINGLE  
GOVERNOR OF HAWAII



CHIYOME L. FUKINO, M.D.  
DIRECTOR OF HEALTH

STATE OF HAWAII  
DEPARTMENT OF HEALTH  
P.O. Box 3378  
HONOLULU, HAWAII 96801-3378

In reply, please refer to:

EPO-I-3217

July 1, 2010

Mr. David K. Tanoue, Director  
City and County of Honolulu  
Department of Planning and Permitting  
650 South King Street, 7<sup>th</sup> Floor  
Honolulu, Hawaii 96813

RECEIVED  
10 JUL -6 P2:59  
DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

Dear Mr. Tanoue:

SUBJECT: Major Modification to Plan Review Use Permit No. 87/PRU-3  
University of Hawaii, 4500 Diamond Head Road – Diamond Head  
(Former Canon Club Site)  
TMK: (1)3-1-42:11

Thank you for allowing us to review and comment on the subject application. The application was routed to the various branches of the Environmental Health Administration. We have the following Indoor & Radiological Health Branch and General comments.

Indoor & Radiological Health Branch

“Project activities shall comply with the Administrative Rules of the Department of Health:

- Chapter 46 Community Noise Control

Should there be any questions, please contact Russell S. Takata, Environmental Health Program Manager, Indoor & Radiological Health Branch at 586-4701.”

General

We strongly recommend that you review all of the Standard Comments on our website: [www.hawaii.gov/health/environmental/env-planning/landuse/landuse.html](http://www.hawaii.gov/health/environmental/env-planning/landuse/landuse.html). Any comments specifically applicable to this project should be adhered to. The same website also features a Healthy Community Design Smart Growth Checklist (Checklist). The Hawaii State Department

Mr. David K. Tanoue  
July 1, 2010  
Page 2

of Health, Built Environment Working Group, recommends that State and county planning departments, developers, planners, engineers and other interested parties apply the healthy built environment principles in the Checklist whenever they plan or review new developments or redevelopments projects. We also ask you to share this list with others to increase community awareness on healthy community design.

If there are any questions about these comments please contact the Environmental Planning Office at 586-4337.

Sincerely,

  
GENEVIEVE SALMONSON, Acting Manager  
Environmental Planning Office

LINDA LINGLE  
GOVERNOR OF HAWAII



CHIYOME L. FUKINO, M.D.  
DIRECTOR OF HEALTH

**STATE OF HAWAII**  
DEPARTMENT OF HEALTH  
P. O. BOX 3378  
HONOLULU, HAWAII 96801-3378

In reply, please refer to:  
File:

June 29, 2010

TO: Mr. David K. Tanoue  
City & County of Honolulu  
Department of Planning & Permitting

FROM: Russell S. Takata, Program Manager  
Indoor and Radiological Health Branch

**SUBJECT: Major Modification to Plan Review Use Permit No. 87/PRU-3;  
University of Hawaii, 4500 Diamond Head Road; TMK:3-1-42:11; To  
include the proposed Culinary Institute of the Pacific (CIP) with the  
Kapiolani Community College (KCC) Campus**

Our comments should be printed as follows:

“Project activities shall comply with the Administrative Rules of the Department of Health:

- Chapter 11-46 Community Noise Control.

Should there be any questions, please contact me at 586-4701.

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

10 JUL -1 P1:57

RECEIVED

LINDA LINGLE  
GOVERNOR OF HAWAII



CHIYOME L. FUKINO, M.D.  
DIRECTOR OF HEALTH

STATE OF HAWAII  
DEPARTMENT OF HEALTH  
P.O. BOX 3378  
HONOLULU, HAWAII 96801-3378

In reply, please refer to:  
EMD / CWB

06067PDCL.10

June 21, 2010

Mr. David K. Tanoue  
Director  
Department of Planning and Permitting  
City and County of Honolulu  
650 South King Street, 7<sup>th</sup> Floor  
Honolulu, Hawaii 96813

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

'10 JUN 23 P1:11

RECEIVED

Attention: Ms. Lin Wong

Dear Mr. Tanoue:

**Subject: Major Modification to Plan Review User Permit No. 87/PRU-3  
Kapiolani Community College Culinary Institute of the Pacific  
Kaimuki, Island of Oahu, Hawaii**

The Department of Health (DOH), Clean Water Branch (CWB), has reviewed the subject document and has no comments at this time. The DOH-CWB provided comments on the Draft Environmental Assessment for this project (Letter No. EPO-08-040, dated April 3, 2008).

As a reminder, all discharges related to the project construction or operation activities, whether or not National Pollutant Discharge Elimination System permit coverage and/or Section 401 Water Quality Certification are required, must comply with the Water Quality Standards. Noncompliance with water quality requirements contained in HAR, Chapter 11-54, and/or permitting requirements, specified in HAR, Chapter 11-55, may be subject to penalties of \$25,000 per day per violation.

If you have any questions, please visit our website at <http://www.hawaii.gov/health/environmental/water/cleanwater/index.html>, or contact the Engineering Section, CWB, at 586-4309.

Sincerely,

  
ALEC WONG, P.E., CHIEF  
Clean Water Branch

DCL:ml

c: DOH-EPO #I-3217 (w/Land Use Document)

LINDA LINGLE  
GOVERNOR



BRENNON T. MORIOKA  
DIRECTOR

Deputy Directors  
MICHAEL D. FORMBY  
FRANCIS PAUL KEENO  
BRIAN H. SEKIGUCHI  
JIRO A. SUMADA

IN REPLY REFER TO:

STP 8.0144

STATE OF HAWAII  
DEPARTMENT OF TRANSPORTATION  
869 PUNCHBOWL STREET  
HONOLULU, HAWAII 96813-5097

June 22, 2010

Mr. David K. Tanoue  
Director  
Department of Planning and Permitting  
City and County of Honolulu  
650 South King Street  
Honolulu, Hawaii 96813

Dear Mr. Tanoue:

Subject: University of Hawaii, Kapiolani Community College, Culinary Institute of the Pacific  
Plan Review Use Permit (87/PRU-3)

Thank you for requesting the State Department of Transportation's (DOT) review of the subject project.

DOT understands that the subject proposes to construct 11 new structures, including instructional kitchens, demonstration auditorium, teaching restaurant, administration building and other building plant facilities at the 7.87-acre project site (former Canon Club). Access to the project site is from Diamond Head Road.

Given the project's location, DOT does not anticipate any significant, adverse impacts to its transportation facilities.

DOT appreciates the opportunity to provide comments. If there are any other questions, please contact Mr. David Shimokawa of the DOT Statewide Transportation Planning Office at telephone number (808) 587-2356.

Very truly yours,

A handwritten signature in cursive script that reads "Francis Paul Keeno".

*for* BRENNON T. MORIOKA, Ph.D., P.E.  
Director of Transportation

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

'10 JUN 25 P1:17

RECEIVED

# BOARD OF WATER SUPPLY

CITY AND COUNTY OF HONOLULU  
630 SOUTH BERETANIA STREET  
HONOLULU, HI 96843



June 29, 2010

MUFI HANNEMANN, Mayor

RANDALL Y. S. CHUNG, Chairman  
SAMUEL T. HATA  
WILLIAM K. MAHOE  
THERESIA C. McMURDO  
ADAM C. WONG

JEFFREY S. CUDIAMAT, Ex-Officio  
BRENNON T. MORIOKA, Ex-Officio

WAYNE M. HASHIRO, P.E.  
Manager and Chief Engineer

DEAN A. NAKANO  
Deputy Manager

RECEIVED

'10 JUL -1 AIO:13

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

TO: DAVID K. TANOUE, DIRECTOR  
DEPARTMENT OF PLANNING AND PERMITTING

FROM: PAUL S. KIKUCHI, CHIEF FINANCIAL OFFICER  
CUSTOMER CARE DIVISION  
BOARD OF WATER SUPPLY

SUBJECT: YOUR REQUEST FOR COMMENT DATED JUNE 1, 2010  
REGARDING MAJOR MODIFICATION TO PLAN REVIEW USE PERMIT  
NUMBER 87/PRU-3 FOR THE PROPOSED CULINARY INSTITUTE OF THE  
PACIFIC (CIP) WITH THE KAPIOLANI COMMUNITY COLLEGE CAMPUS,  
TMK: 3-1-42: 11

Thank you for the opportunity to comment on the proposed Culinary Institute of the Pacific.

The existing water system is presently inadequate to accommodate the proposed development. The site is located above the service limit for the metro 180' water system; therefore the developer will be required to extend the main from the metro 405' system located at the intersection of McCarriston and Trousseau Street. The line should be designed to city standards and sized to provide adequate water service to the proposed Culinary Institute and meet offsite and onsite fire protection requirements.

To satisfy offsite fire protection requirements, a fire hydrant should be installed within 125 linear feet of the property. The on-site fire protection requirements should be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department.

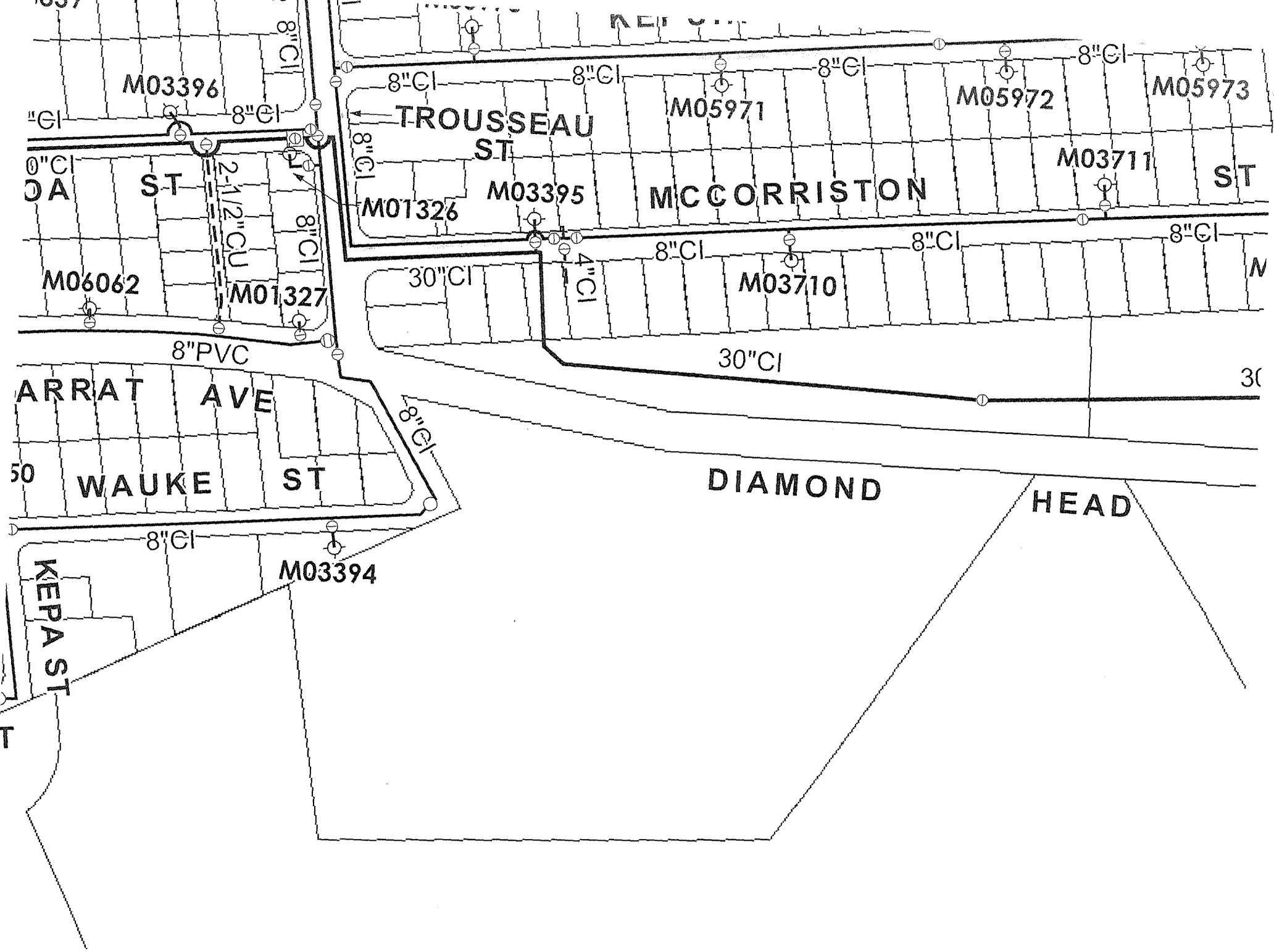
Please be advised that this information is based upon current data and, therefore, the Board of Water Supply (BWS) reserves the right to change any position or information stated herein up until the final approval of your building permit application. Construction drawings for all proposed water systems improvements should be submitted to BWS for review and approval as part of the building permit process. The final decision on the availability of water will be confirmed when the building permit application is submitted for approval.

When water is made available, the applicant will be required to pay our Water System Facilities Charges for resource development, transmission and daily storage.

The proposed project is subject to BWS Cross-Connection Control and Backflow Prevention requirements prior to the issuance of the Building Permit.

If you have any questions, please contact Robert Chun at 748-5443.

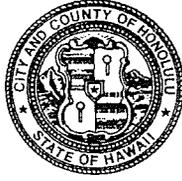
Attachment



DEPARTMENT OF DESIGN AND CONSTRUCTION  
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 11<sup>TH</sup> FLOOR  
HONOLULU, HAWAII 96813  
Phone: (808) 768-8480 • Fax: (808) 768-4567  
Web site: [www.honolulu.gov](http://www.honolulu.gov)

MUFI HANNEMANN  
MAYOR



RECEIVED

CRAIG I. NISHIMURA, P.E.  
DIRECTOR

COLLINS D. LAM, P.E.  
DEPUTY DIRECTOR

'10 JUN 15 A8:52

June 14, 2010

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLU.

**MEMORANDUM**

TO: DAVID K. TANOUE, DIRECTOR  
DEPARTMENT OF PLANNING AND PERMITTING

FROM:   
CRAIG I. NISHIMURA, P.E. DIRECTOR  
DEPARTMENT OF DESIGN AND CONSTRUCTION

SUBJECT: Major Modification to Plan Review Use Permit No. 87/ PRU-3  
Applicant: University of Hawaii  
Location: 4500 Diamond Head Road- Diamond Head  
(Former Canon Club Site)  
Tax Map Key: 3-1-42:11  
Proposal: To include the proposed Culinary Institute of the Pacific  
(CIP) with the Kapiolani Community College (KCC) campus

Thank you for inviting us to review the Plan Review Use Permit. The Department of Design and Construction has the following comments to offer:

A sewer connection application should be obtained from the Department of Planning and Permitting.

Should you have any questions, please contact Jay Hamai at 768-8750.

Very truly yours,

  
Craig I. Nishimura, P.E.  
Director

CN:pg(369495)

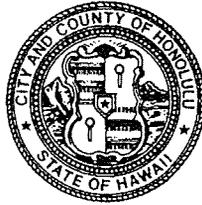
DEPARTMENT OF FACILITY MAINTENANCE  
**CITY AND COUNTY OF HONOLULU**

1000 Uluohia Street, Suite 215, Kapolei, Hawaii 96707  
Phone: (808) 768-3343 • Fax: (808) 768-3381  
Website: www.honolulu.gov

MUFI HANNEMANN  
MAYOR

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'10 JUL 19 P2:36



JEFFREY S. CUDIAMAT, P.E.  
DIRECTOR AND CHIEF ENGINEER

GEORGE "KEOKI" MIYAMOTO  
DEPUTY DIRECTOR

IN REPLY REFER TO:  
DRM 10-537

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

July 15, 2010

MEMORANDUM

TO: DAVID K. TANOUE, DIRECTOR  
DEPARTMENT OF PLANNING AND PERMITTING

FROM: *Jeffrey Cudiamat*  
JEFFREY S. CUDIAMAT, P.E.,  
DIRECTOR AND CHIEF ENGINEER  
DEPARTMENT OF FACILITY MAINTENANCE

SUBJECT: UNIVERSITY OF HAWAII KAPIOLANI COMMUNITY COLLEGE  
MAJOR MODIFICATION TO PLAN REVIEW USE (PRU)  
PERMIT NO. 87/PRU-3

Thank you for the opportunity to review and comment on the application dated March 2010 for the subject PRU Permit application to include the proposed Culinary Institute of the Pacific (CIP), located on the former Canon Club site on Diamond Head Road, with the Kapiolani Community College (KCC) campus.

Combining the former Canon Club site with the KCC campus to allow construction of the new structures and facilities for the proposed CIP will not adversely affect our existing facilities or maintenance operations of City-owned roadways in the vicinity. We have no facilities or easements within the properties in question.

Returned for your use is the PRU Permit application document.

Should you have any questions, please call Charles Pignataro of the Division of Road Maintenance, at 768-3697.

Attachment

HONOLULU FIRE DEPARTMENT

CITY AND COUNTY OF HONOLULU

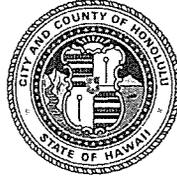
636 South Street  
Honolulu, Hawaii 96813-5007  
Phone: 808-723-7139 Fax: 808-723-7111 Internet: www.honolulu.gov/hfd

MUFI HANNEMANN  
MAYOR

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'10 JUN 18 AM 11:42

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU



KENNETH G. SILVA  
FIRE CHIEF

ROLLAND J. HARVEST  
DEPUTY FIRE CHIEF

June 18, 2010

TO: DAVID TANOUE, DIRECTOR  
DEPARTMENT OF PLANNING AND PERMITTING

FROM: KENNETH G. SILVA, FIRE CHIEF

SUBJECT: MAJOR MODIFICATION TO PLAN REVIEW USE PERMIT NO. 87/PRU-3  
PROPOSED CULINARY INSTITUTE OF THE PACIFIC  
KAPIOLANI COMMUNITY COLLEGE CAMPUS  
4500 DIAMOND HEAD ROAD  
TAX MAP KEY: 3-1-042: 011

In response to your letter of June 1, 2010, regarding the above-mentioned subject, the Honolulu Fire Department (HFD) reviewed the material provided and requires that the following be complied with:

1. Provide a fire apparatus access road for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet (45 720 mm) from a fire apparatus access road as measured by an approved route around the exterior of the building or facility. (1997 Uniform Fire Code, Section 902.2.1.)
2. Provide a water supply, approved by the county, capable of supplying the required fire flow for fire protection to all premises upon which facilities or buildings, or portions thereof, are hereafter constructed or moved into or within the county.

On-site fire hydrants and mains capable of supplying the required fire flow shall be provided when any portion of the facility or building is in excess of 150 feet (45 720 mm) from a water supply on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building. (1997 Uniform Fire Code, Section 903.2, as amended.)

David Tanoue, Director

Page 2

June 18, 2010

3. Submit civil drawings to the HFD for review and approval.

Should you have any questions, please call Battalion Chief Socrates Bratakos of our Fire Prevention Bureau at 723-7151.

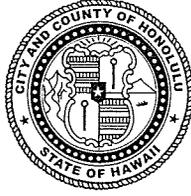


KENNETH G. SILVA  
Fire Chief

KGS/SY:jl

DEPARTMENT OF PARKS AND RECREATION  
**CITY AND COUNTY OF HONOLULU**

1000 ULUOHIA STREET, SUITE 309 • KAPOLEI, HAWAII 96707  
TELEPHONE: (808) 768-3003 • FAX: (808) 768-3053 • CITY WEB SITE: www.honolulu.gov



MUFI HANNEMANN  
MAYOR

LESTER K. C. CHANG  
DIRECTOR

RICHARD HARU  
DEPUTY DIRECTOR

June 21, 2010

TO: DAVID K. TANOUE, DIRECTOR  
DEPARTMENT OF PLANNING AND PERMITTING

FROM: LESTER K. C. CHANG, DIRECTOR

SUBJECT: MAJOR MODIFICATION TO PLAN REVIEW USE PERMIT  
NUMBER 87/PRU-3

Thank you for the opportunity to review and comment on the Major Modification to Plan Review Use Permit Number 87/PRU-3 to include the proposed Culinary Institute of Hawaii (located on the former Canon Club site) with the Kapiolani Community College campus.

The Department of Parks and Recreation has no comment.

Should you have any questions, please contact Mr. John Reid, Planner, at 768-3017.

A handwritten signature in black ink, appearing to read "Lester K. C. Chang", is written over the printed name and title.

LESTER K. C. CHANG  
Director

LKCC:jr  
(369527)

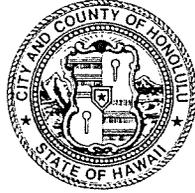
DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

'10 JUN 21 P3:17

RECEIVED

POLICE DEPARTMENT  
**CITY AND COUNTY OF HONOLULU**

801 SOUTH BERETANIA STREET · HONOLULU, HAWAII 96813  
TELEPHONE: (808) 529-3111 · INTERNET: www.honolulu.org



MUFI HANNEMANN  
MAYOR

**RECEIVED** LOUIS M. KEALOHA  
CHIEF

DELBERT T. TATSUYAMA  
RANDAL K. MACADANGDANG  
DEPUTY CHIEFS

'10 JUN 15 A8:51

OUR REFERENCE **DMK-DK**

June 14, 2010

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

TO: DAVID K. TANOUE, FAICP, DIRECTOR  
DEPARTMENT OF PLANNING AND PERMITTING

FROM: LOUIS M. KEALOHA, CHIEF OF POLICE  
HONOLULU POLICE DEPARTMENT

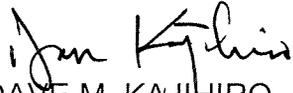
SUBJECT: MAJOR MODIFICATION TO PLAN REVIEW USE PERMIT NO. 87/PRU-3  
UNIVERSITY OF HAWAII KAPIOLANI COMMUNITY COLLEGE  
4500 DIAMOND HEAD ROAD (FORMER CANON CLUB SITE)  
TAX MAP KEY: 3-1-42: 11

Thank you for the opportunity to review and comment on the subject project.

This project should have no significant impact on the facilities and services of the Honolulu Police Department.

If there are any questions, please call Major Evan Ching of District 7 at 529-3362.

LOUIS M. KEALOHA  
Chief of Police

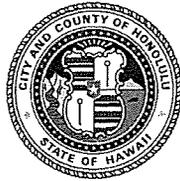
By   
DAVE M. KAJIHIRO  
Assistant Chief of Police  
Support Services Bureau

DEPARTMENT OF TRANSPORTATION SERVICES  
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 3RD FLOOR  
HONOLULU, HAWAII 96813  
Phone: (808) 768-8305 • Fax: (808) 768-4730 • Internet: www.honolulu.gov

MUFI HANNEMANN  
MAYOR

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WAYNE Y. YOSHIOKA  
DIRECTOR

SHARON ANN THOM  
DEPUTY DIRECTOR

KENNETH TORU HAMAYASU  
DEPUTY DIRECTOR

'10 JUL 19 A10:27

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLU.

July 19, 2010

TP6/10-369456R

MEMORANDUM

TO: DAVID K. TANOUE, DIRECTOR  
DEPARTMENT OF PLANNING AND PERMITTING

FROM: WAYNE Y. YOSHIOKA, DIRECTOR  
DEPARTMENT OF TRANSPORTATION SERVICES

SUBJECT: MAJOR MODIFICATION TO PLAN REVIEW USE PERMIT NO. 87/PRU-3  
TO INCLUDE THE PROPOSED CULINARY INSTITUTE OF THE PACIFIC (CIP)  
WITH THE KAPIOLANI COMMUNITY COLLEGE (KCC) CAMPUS  
TAX MAP KEY: 3-1-42:11

This responds to your June 1, 2010, memorandum requesting our review and comments for the subject project.

Our Traffic Engineering Division (TED) has the following comments:

- Background & Summary, page xi, bullet C and Final EA, page 17, bullet c.: The sentence should be corrected and replaced with "Transportation improvements and revisions of the phasing plan shall be submitted to the Department of Planning and Permitting for approval."
- Section III.D3.c. Traffic and Parking, pages 38 & 39 and Final EA pages 33 & 34: The street jurisdiction should be included in each street description. Additionally, the classifications of streets do not appear to be appropriate and inconsistent with pages 5 & 6 of the Traffic Evaluation.
- Section III.E, Figure 5: The right-of-way and curb-to-curb widths should be noted on the plans.

We recommend sidewalk improvements be constructed from the subject site to the Kapiolani Community College driveway to enhance pedestrian safety along Diamond Head Road and shown on figure 5.

Figure 5 should show all Traffic Control Devices as defined in the Manual on Uniform Traffic Control Devices (MUTCD) within the area.

We recommend that provisions for left turn lanes be made in both driveways to the CIP and these lanes should be shown on figure 5.

Figure 5 details a BUS STOP & PULL OFF location where there is no current existing bus stop.

The elimination of the crosswalk shown in the proximity of the easterly driveway should be clarified.

Figure 5 shows gates at two driveways. The usage of the gates should be discussed as to whether the gates are going to be manned or unmanned. The gates should be significantly set back from the right-of-way to assure that the entering vehicles will not queue into Diamond Head Road.

- Appendix H, Traffic Evaluation, page 28, 2<sup>nd</sup> sentence, 1<sup>st</sup> bullet: Justification, such as a warrant study, would need to be provided for the left tune phase recommended in this section.
- A Street Usage Permit from our department is required for construction work that may require the temporary closure of any City street, traffic lane, or sidewalk.

Our Public Transit Division (PTD) has the following comments:

- The project must comply with the appropriate provisions of the Americans with Disabilities Act (ADA). On-site and internal traffic should be designed to facilitate the City's TheHandi-Van's 31' turning radius and 10'6" height clearance.
- Section III.D.2 Master Plan, page 24, 1<sup>st</sup> paragraph, last sentence, PTD should be contacted to discuss the feasibility of a bus stop as proposed in this section.

David K. Tanoue, Director  
Page 3  
July 19, 2010

- Pre-construction notes shall include the following transit note: "This project will affect bus routes, bus stops, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 848-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project at least two weeks prior to construction.

Prior to the start of the project, all affected Neighborhood Boards, residents, and businesses should be informed about the scope and duration of the project.

Thank you for the opportunity to review this matter.

Should you have any further questions on the matter, you may contact Ms. Virginia Bisho of my staff at Local 85461.



WAYNE Y. YOSHIMOKA  
Director

cc: Mr. Michael Shibata  
PBR Hawaii



# PBR HAWAII & ASSOCIATES, INC.

September 15, 2010

RECEIVED

**PRINCIPALS**

THOMAS S. WITTEN, ASLA  
*President*

R. STAN DUNCAN, ASLA  
*Executive Vice-President*

RUSSELL Y. J. CHUNG, FASLA, LEED® AP  
*Executive Vice-President*

VINCENT SHIGEKUNI  
*Vice-President*

GRANT T. MURAKAMI, AICP, LEED® AP  
*Principal*

W. FRANK BRANDT, FASLA  
*Chairman Emeritus*

Mr. David K. Tanoue, Director  
Department of Planning and Permitting  
City and County of Honolulu  
650 South King Street, 7<sup>th</sup> Floor  
Honolulu, Hawai'i 96813

'10 SEP 16 A8:27

DEPT OF PLANNING  
AND PERMITTING  
CITY & COUNTY OF HONOLULU

Attn: Ms. Lin Wong

**SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO  
PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO  
AGENCY COMMENTS**

**ASSOCIATES**

TOM SCHNELL, AICP  
*Senior Associate*

RAYMOND T. HIGA, ASLA  
*Senior Associate*

KEVIN K. NISHIKAWA, ASLA  
*Associate*

KIMI MIKAMI YUEN, LEED® AP  
*Associate*

SCOTT ALIKA ABRIGO, LEED® AP  
*Associate*

SCOTT MURAKAMI, ASLA, LEED® AP  
*Associate*

DACHENG DONG, LEED® AP  
*Associate*

Dear Mr. Tanoue:

Thank you for providing the Kapi'olani Community College (KCC) an opportunity to review and respond to comments received by the various governmental agencies for our proposed major modification to Plan Review Use (PRU) permit (87/PRU-3). As of September 15, 2010, PBR HAWAII and Associates, Inc. has received the following agency comment letters from your department.

**State of Hawai'i**

1. Department of Land and Natural Resources, Commission on Water Resource Management (July 14, 2010)
2. Department of Land and Natural Resources, State Historic Preservation Division (June 16, 2010)
3. Department of Land and Natural Resources, Office of Conservation & Coastal Lands (June 4, 2010)
4. Department of Land and Natural Resources, Land Division – Oahu District (June 4, 2010)
5. Department of Land and Natural Resources, Engineering Division (June 4, 2010)
6. Department of Health (July 1, 2010)
7. Department of Health, Indoor and Radiological Health Branch (June 29, 2010)
8. Department of Health, Clean Water Branch (June 21, 2010)
9. Department of Transportation (June 22, 2010)

**HONOLULU OFFICE**  
1001 Bishop Street, Suite 650  
Honolulu, Hawai'i 96813-3484  
Tel: (808) 521-5631  
Fax: (808) 523-1402  
E-mail: sysadmin@pbrhawaii.com

**KAPOLEI OFFICE**  
1001 Kamokila Boulevard  
Kapolei Building, Suite 313  
Kapolei, Hawai'i 96707-2005  
Tel: (808) 521-5631  
Fax: (808) 535-3163

Mr. David K. Tanoue

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

September 15, 2010

Page 2

**City and County of Honolulu**

1. Department of Design and Construction (June 14, 2010)
2. Department of Environmental Services, Refuse Division (July 30, 2010)
3. Department of Facility Maintenance (July 15, 2010)
4. Department of Parks and Recreation (June 21, 2010)
5. Department of Planning and Permitting (received August 26, 2010)
6. Department of Transportation Services (July 19, 2010)
7. Board of Water Supply (June 29, 2010)
8. Honolulu Fire Department (June 18, 2010)
9. Honolulu Police Department (June 14, 2010)

We offer the following responses to these comments.

**State of Hawai'i**

*Department of Land and Natural Resources, Commission on Water Resource Management (July 14, 2010)*

1. KCC will coordinate with the City and County of Honolulu's Department of Planning and Permitting and/or Board of Water Supply (BWS) to incorporate the project in the County's Water Use and Development Plan. BWS has been contacted, and the project will connect to the Metro 405' system, located at the Trousseau Street and McCorriston Street intersection.
2. KCC will coordinate with the Department of Land and Natural Resources' (DLNR) Engineering Division to incorporate the project into the State Water Projects Plan.
3. KCC is considering the installation of water efficient fixtures and the implementation of water efficient practices, where feasible, to reduce the increased demand on the area's freshwater resources.
4. Best Management Practices for stormwater management will be implemented to minimize the impact of the project to the existing area's hydrology while maintaining on-site infiltration and preventing polluted runoff from storm events.
5. The use of alternative water sources, where practical, will be explored.
6. KCC is considering the implementation of water conservation measures, best management practices to mitigate stormwater runoff, and the reuse of stormwater, where practicable.

Mr. David K. Tanoue

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

September 15, 2010

Page 3

Department of Land and Natural Resources, State Historic Preservation Division (June 16, 2010)

1. KCC acknowledges the State Historic Preservation Division's determination on the proposed project remains "no historic properties affected."

Department of Land and Natural Resources, Office of Conservation & Coastal Lands (June 4, 2010)

1. KCC acknowledges that the Office of Conservation & Coastal Lands has no comments, as the proposed project is not located in the State Land Use Conservation District.

Department of Land and Natural Resources, Land Division – Oahu District (June 4, 2010)

1. KCC acknowledges that the Land Division – Oahu District has no comments.

Department of Land and Natural Resources, Engineering Division (June 4, 2010)

1. KCC acknowledges that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Zone X; and that the National Flood Insurance Program does not have any regulations for developments within Zone X.
2. Water demands and infrastructure required to meet the project needs are included in the PRU and SMA Use Permit Application. KCC acknowledges that it will be required to pay the Board of Water Supply (BWS) Water System Facilities Charges for resource development, transmission and daily storage.

Department of Health (July 1, 2010)

KCC offers the following response to the Indoor and Radiology Health Branch and General comments.

*Indoor and Radiology Health Branch*

1. The project activities will comply with the Administrative Rules of the Department of Health (DOH) (Chapter 11-46, Community Noise Control).

*General*

1. KCC will review all of the Standard Comments on the DOH's website at: [www.state.hi.us/health/environmental/env-planning/landuse/landuse.html](http://www.state.hi.us/health/environmental/env-planning/landuse/landuse.html).

Mr. David K. Tanoue

SUBJECT: KAPĪOLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

September 15, 2010

Page 4

Department of Health, Indoor and Radiology Health Branch (June 29, 2010)

1. The project activities will comply with the Administrative Rules of the Department of Health (Chapter 11-46, Community Noise Control).

Department of Health, Clean Water Branch (June 21, 2010)

1. KCC acknowledges that the Department of Health (DOH), Clean Water Branch (CWB) has no comments at this time, as the DOH-CWB provided comments on the Draft Environmental Assessment for the proposed project (reference number: EPO-08-040).
2. All discharges related to the project construction or operation activities will comply with the State's Water Quality Standards. It should be noted that the project doesn't discharge directly into waters of the State of Hawai'i, therefore, KCC doesn't anticipate the need to obtain a Water Quality Certification.

Department of Transportation (June 22, 2010)

1. KCC acknowledges that the Department of Transportation does not anticipate any significant, adverse impacts to its transportation facilities.

**City and County of Honolulu**

Department of Design and Construction (June 14, 2010)

1. A sewer connection application will be resubmitted to the Department of Planning and Permitting.

Department of Environmental Services (July 20, 2010)

1. According to the H-Power website, the H-POWER facility is capable of processing 2,160 tons-per-day of municipal solid waste into refuse derived fuel (RDF) for combustion, while generating up to 57 megawatts (MW) of energy that is enough to support more than 45,000 homes on O'ahu.
2. We propose replacing the second paragraph of page 49 (*Section III.D.5.a.1. Refuse Collection*) with the following text: "Waimānalo Gulch Sanitary Landfill, which opened in 1989, is owned by the County and the landfill is managed and operated by Waste Management of Hawaii. The landfill accepts two types of refuse: municipal solid waste (MSW), which is waste generated by residential, commercial, some military and agricultural activities; and H-POWER ash and residue, a by-product of incinerating waste to generate electricity."

Mr. David K. Tanoue

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

September 15, 2010

Page 5

3. We propose replacing the third paragraph of page 49 (*Section III.D.5.a.1. Refuse Collection*) with the following text: *"The solid waste generated through construction of the proposed buildings and operation of the new KCC CIP Facilities will be collected by a private collection company, which will pick up un-recycled solid wastes and transport it to a County Department of Environmental Services, Refuse Division transfer station, for burning at the H-POWER facility and eventual disposal in a sanitary landfill. No hazardous material will be disposed of and the proposed KCC CIP project will comply with applicable State and County requirements; the program goals and objectives of the integrated Solid Waste Management Act, Chapter 342G, HRS; and the County's approved integrated solid waste management plans in a schedule and time frame satisfactory to the DOH."*

Department of Facility Maintenance (July 15, 2010)

1. KCC acknowledges that the proposed project will not adversely affect the Department of Facility Maintenance's existing facilities or maintenance operations of City-owned roadways in the vicinity.

Department of Planning and Permitting (received August 26, 2010)

KCC offers the following response to comments provided by the respective branches of the Department of Planning and Permitting (DPP).

*Traffic Review Branch*

1. KCC anticipates receiving approvals for the major modification to the existing Plan Review Use permit (87/PRU-3) and Diamond Head Special Design District by Fall 2011. The construction of the KCC CIP project is subject to receiving necessary funding for the project, as such, it does not have an anticipated time line/phasing plan for construction at this time.
2. A Construction Management Plan will be submitted to DPP prior to the issuance of major demolition and/or building permits.
3. An updated Traffic Impact Analysis Report (TIAR) will be submitted prior to the issuance of the (temporary) certificate of occupancy for the KCC CIP project. The updated TIAR will include a traffic signal warrant analysis at unsignalized intersections in the vicinity of the project, specifically only the Monsarrat Avenue/Trousseau Street, Diamond Head Road/Makapu'u Avenue and the Diamond Head Road/18th Avenue intersections.

Mr. David K. Tanoue

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

September 15, 2010

Page 6

We acknowledge that a 17-foot road widening is planned along the project's frontage along Diamond Head Road. The projected future traffic generated by the KCC CIP project is anticipated to have a minor impact on the surrounding roadway operations. In addition, the overall future roadway network is projected to operate at essentially the same acceptable level of service as the existing conditions, with the construction of the KCC CIP project. KCC recognizes DPP's concern for public safety along Diamond Head Road as indicated in the comment requesting a left turn lane into the driveways of the KCC CIP project. A left turn lane warrant analysis is being prepared by the project's traffic engineering consultant and will be provided to DPP as soon as possible for review. Should the analysis determine that mitigation measures are warranted, KCC will implement necessary improvements (i.e. left turn lane at the western-most driveway and right-in/right-out turn only movements at the eastern-most driveway).

The TIAR will again be updated one year after the completion of the project to validate the projected trip generation rates and traffic assignment volumes at each driveway; and to identify whether additional traffic mitigation measures are necessary to support the KCC CIP project.

4. A Traffic Management Plan (TMP) will be submitted prior to the issuance of the (temporary) certificate of occupancy for the KCC CIP project. The TMP would include traffic demand management (TDM) strategies to minimize the amount of vehicular trips being generated by existing KCC facilities and uses, as well as for large events.

The KCC CIP site is planned to connect with the State's proposed Linear Park's multi-purpose path along the south side of Diamond Head Road, which extends from the edge of the Cannon Club site to the vehicular entry to Diamond Head State Monument. The Department of Land and Natural Resources (DLNR) Division of State Parks has just submitted an application for a Special Management Area Use Permit that includes plans for the proposed Linear Park project. The State's proposed multi-purpose path is designed to be 11 feet in width and will be able to accommodate both pedestrians and bicyclists.

5. As indicated in the previous response above, a TMP will be prepared and submitted prior to the issuance of the (temporary) certificate of occupancy for the KCC CIP project. The TMP would include TDM strategies to minimize the amount of vehicular trips being generated by any existing and/or new KCC facilities and uses.

Mr. David K. Tanoue

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

September 15, 2010

Page 7

6. Vehicular access points will be designed to meet City and County of Honolulu standards. Adequate vehicular sight distance will be provided at all proposed driveway entrances to the KCC CIP site. In addition, driveway grades will not exceed 5% for a minimum distance of 25-feet from the property line.
7. Construction plans for work within or affecting public streets will be submitted to DPP for review. Traffic Control Plans will also be submitted for review and approval.

*Wastewater Branch*

1. We acknowledge that sewer capacity is available on Monsarrat Avenue. A Site Development Master Application for Sewer Connection will be resubmitted to DPP.

*Civil Engineering Branch*

1. We acknowledge that the DPP Civil Engineering Branch has the same comments as previously provided to the recently approved Special Management Area (SMA) Use Permit for the KCC CIP project [Resolution 10-144 (2010/SMA-18)].

*Land Use Permits Branch*

1. We acknowledge that the DPP Land Use Permits Branch has the same comments as previously provided to the recently approved Special Management Area (SMA) Use Permit for the KCC CIP project [Resolution 10-144 (2010/SMA-18)].

*Department of Parks and Recreation (June 21, 2010)*

1. KCC acknowledges that the Department of Parks and Recreation has no comment.

*Department of Transportation Services (July 19, 2010)*

KCC offers the following response to comments provided by the respective divisions of the Department of Transportation Services (DTS).

*Traffic Engineering Division*

1. While we are not opposed to your suggested replacement language, Resolution 92-193 Condition 5(c) specifically states that: *"The applicant shall submit a transportation improvement phasing plan and construction plans to the Department of Transportation Services and the Department of Public Works for approval and shall implement at their own expense, the following transportation improvements:"* It is our understanding that

Mr. David K. Tanoue

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

September 15, 2010

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any revisions of previously approved Resolutions would need to be approved of by City Council and/or DPP.

2. Existing roadways in the vicinity of the KCC CIP site are under the jurisdiction of the City & County of Honolulu. For future reference, please see the Traffic Evaluation for the appropriate classification of streets in the vicinity of the project. We apologize for any inconvenience.
3. The right-of-way and curb-to-curb widths are not shown on the KCC CIP Site Plan. The site is located in an area where there isn't a defined parallel right-of-way (which is common to older neighborhoods, especially one that was originally developed by the U.S. military). The current KCC CIP Site Plan reflects property lines that aren't parallel to the centerline or curb lines of Diamond Head Road. Similar to the right-of-way widths, curb-to-curb widths vary in width as well.
4. The KCC CIP site is planned to connect with the State's proposed Linear Park multi-purpose path along the south side of Diamond Head Road, which extends from the edge of the Cannon Club site to the vehicular entry to Diamond Head State Monument. The Department of Land and Natural Resources (DLNR) Division of State Parks has submitted an application for a Special Management Area Use Permit that includes plans for the proposed Linear Park project. The State's proposed multi-purpose path is designed to be 11 feet in width and will be able to accommodate both pedestrians and bicyclists.
5. Traffic control devices are shown in the updated KCC CIP Site Plan (Figure 5) that is attached for your reference.
6. The projected future traffic generated by the KCC CIP project is anticipated to have a minor impact on the surrounding roadway operations. In addition, the overall future roadway network is projected to operate at essentially the same acceptable level of service as the existing conditions, with the construction of the KCC CIP project. KCC recognizes DTS' concern for public safety along Diamond Head Road as indicated in the comment requesting a left turn lane into the driveways of the KCC CIP project. A left turn lane warrant analysis is being prepared by the project's traffic engineering consultant and will be provided to DPP as soon as possible for review. Should the analysis determine that mitigation measures are warranted, KCC will implement necessary improvements (i.e. left turn lane at the western-most driveway and right-in/right-out turn only movements at the eastern-most driveway).
7. KCC will coordinate with DTS Public Transit Division to discuss the feasibility of a bus stop along the proposed project's frontage along Diamond Head Road.

Mr. David K. Tanoue

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

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8. KCC does not intend to eliminate the crosswalk located in the proximity of the KCC CIP's easterly driveway as the crosswalk is located outside of the KCC CIP site.
9. The two proposed driveway entrances are planned to be secured during non-operational hours by unmanned security gates. The gates are in place to discourage loitering and vandalism at the proposed project. The gates are set back approximately 16 feet from the closest edge of pavement along Diamond Head Road which should mitigate concerns on entering vehicles queuing into Diamond Head Road.
10. It is our understanding that DTS is planning the signalization of the Diamond Head Road/Makapu'u Avenue intersection. When appropriate, KCC will coordinate with DTS regarding the signal phasing for this intersection, and to determine if the left turn phase recommended in the Traffic Evaluation is needed.
11. Should construction activities require the closure of any City street, traffic lane, or sidewalk, a Street Usage Permit will be obtained from DTS.

#### *Public Transit Division*

1. The proposed project will be designed in compliance with the appropriate provisions of the Americans with Disabilities Act (ADA).
2. KCC will coordinate with DTS Public Transit Division to discuss the feasibility of a bus stop along the proposed project's frontage along Diamond Head Road.
3. Pre-construction notes will include the following: *"This project will affect bus routes, bus stops, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 848-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project at least two weeks prior to construction."*
4. Prior to the start of project construction, all affected Neighborhood Boards, residents, and business will be informed about the project scope and duration of the project.

#### *Board of Water Supply (June 29, 2010)*

1. KCC acknowledges that the existing water system is presently inadequate to accommodate the proposed development. As such, KCC will connect to the Metro 405' system, located at the Trousseau Street and McCorriston Street intersection. The line will be designed to City standards and sized to provide adequate water

Mr. David K. Tanoue

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE (PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS

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service to the proposed project and meet off-site and on-site fire protection services.

2. On-site fire protection requirements will be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department.
3. KCC acknowledges that the final decision on the availability of water will be confirmed when the building permit application for the proposed project is submitted for approval.
4. KCC acknowledges that it will be required to pay the Board of Water Supply (BWS) Water System Facilities Charges for resource development, transmission and daily storage.
5. BWS Cross-Connection Control and Backflow Prevention requirements will be fulfilled prior to the issuance of the building permit.

Honolulu Fire Department (June 18, 2010)

1. KCC acknowledges the need to provide a fire apparatus access road for every facility, building, or portion of a building within the jurisdiction when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building or facility, in accordance with the 1997 Uniform Fire Code, Section 902.2.1.
2. KCC shall provide a water supply, approved by the County, capable of supplying the required fire flow for fire protection to all premises upon which facilities or buildings are constructed. On-site fire hydrants and mains capable of supplying the required fire flow shall be provided when any portion of the facility or building is in excess of 150 feet from a water supply on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building in accordance with the 1997 Uniform Fire Code, Section 903.2, as amended.
3. KCC will submit civil drawings to the Honolulu Fire Department for review and approval.

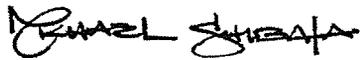
Honolulu Police Department (June 14, 2010)

1. KCC acknowledges that the proposed project should have no significant impact on the facilities or operations of the Honolulu Police Department.

Mr. David K. Tanoue  
SUBJECT: KAPI'OLANI COMMUNITY COLLEGE MAJOR MODIFICATION TO PLAN REVIEW USE  
(PRU) PERMIT (87/PRU-3) RESPONSE TO AGENCY COMMENTS  
September 15, 2010  
Page 11

If you have any questions regarding this project or would like for further elaboration or discussion on these issues, please do not hesitate to contact me at 521-5631.

Sincerely,

A handwritten signature in black ink, appearing to read "MICHAEL SHIBATA". The signature is stylized and written in all caps.

Michael Shibata  
Project Manager/Planner

Encl: Updated Figure 5: KCC CIP Site Plan

cc: Maynard Young, University of Hawai'i at Mānoa  
Carol Hoshiko, Kapi'olani Community College

## **ATTACHMENT 5**



Source: Kapi'olani Community College  
 Disclaimer: This map has been prepared for general planning purposes only.

**LEGEND**

Kapi'olani Community College (KCC) Existing PRU Area

**KCC MAIN CAMPUS PARKING SUMMARY**

**EXISTING ON-SITE PARKING**

Parking Lot A	217 Stalls
Parking Lot B	326 Stalls
Parking Lot C	288 Stalls
Parking Lot D	144 Stalls
Parking Lot E	142 Stalls
'Iliahi	5 Stalls
'Ilima	14 Stalls
'Ōhi'a /'Ōhelo	10 Stalls
Olopu	28 Stalls
<b>TOTAL:</b>	<b>1,174 Stalls</b>

**ALTERNATE-1 ON-SITE PARKING**

Diamond Head Main Entry Road-1	6 Stalls
Main Service Road-1	43 Stalls
Mānele Service Road-1	37 Stalls
Manono Service Road	15 Stalls
Kaulia Service Road-1	42 Stalls
<b>TOTAL:</b>	<b>143 Stalls</b>

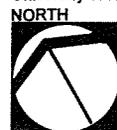
**KCC MAIN CAMPUS TOTAL: 1,317 Stalls**

Figure 8  
 KCC Main Campus Parking

**Culinary Institute of the Pacific  
 Kapi'olani Community College**

University of Hawai'i

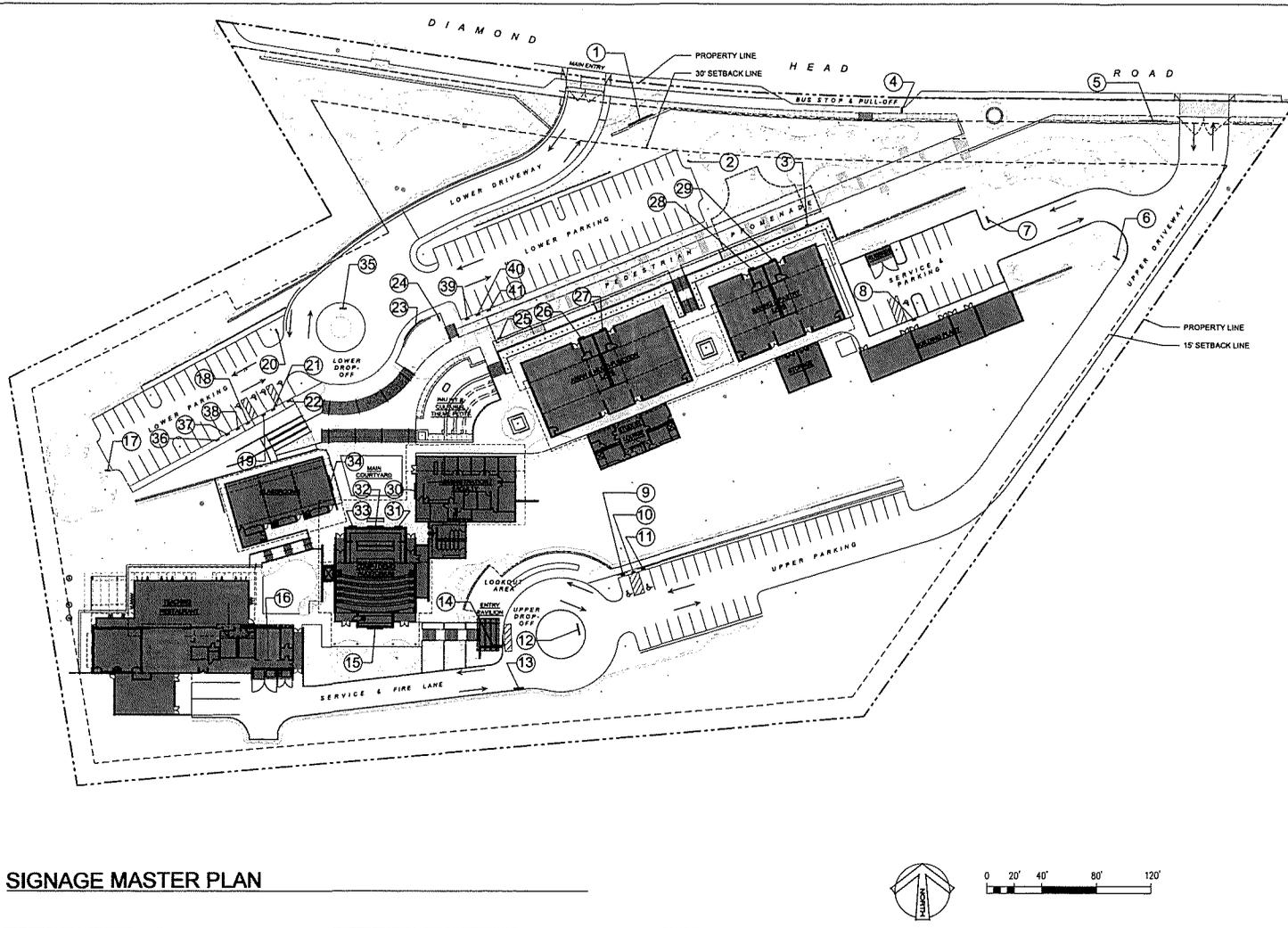
ISLAND OF O'AHU



NOT TO SCALE



## **ATTACHMENT 6**



**SIGNAGE MASTER PLAN**

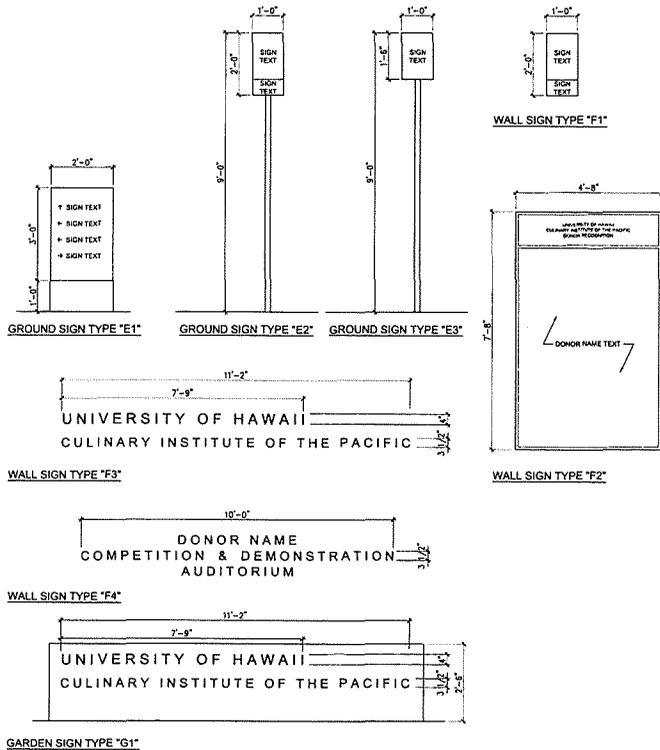


Figure 27  
 Signage Master Plan  
**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
 University of Hawai'i



Source: Ferraro Choi and Associates, Ltd.  
 Disclaimer: This graphic has been prepared for general planning purposes only.  
 Q:\Oahu\Cannon Club\Photoshop\Site DWG

## SIGN TYPES



## DEFINITIONS

**NONILLUMINATED** - SIGNS WHICH DO NOT GIVE FORTH ARTIFICIAL LIGHT FROM AN ARTIFICIAL SOURCE.

**GARDEN SIGN** - A FREESTANDING SIGN OR A SIGN ATTACHED TO THE FACE OF A FREESTANDING WALL.

**GROUND SIGN** - FREESTANDING, SELF-SUPPORTED STRUCTURE ERECTED OR SUPPORTED FROM THE GROUND CONTAINING ONE OR MORE FACES FOR SIGN OR DISPLAY PURPOSES. A GROUND SIGN INCLUDES A POLE SIGN.

**WALL SIGN** - A SIGN AFFIXED TO AN EXTERIOR WALL OF ANY BUILDING.

## SIGN SCHEDULE

SIGN NO.	TYPE	SIGN TEXT	LIGHTING	LOCATION	NOTES
1	GARDEN SIGN TYPE "G1"	UNIVERSITY OF HAWAII CULINARY INSTITUTE OF THE PACIFIC	INDIRECTLY ILLUMINATED	DRIVEWAY / ENTRY	SIGN AREA = 6 SF
2	GROUND SIGN TYPE "E2"	NO PARKING - FIRE LANE - TOW AWAY ZONE	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
3	WALL SIGN TYPE "F1"	NO PARKING - FIRE LANE - TOW AWAY ZONE	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
4	GROUND SIGN TYPE "E3"	BUS STOP	INDIRECTLY ILLUMINATED	SIDEWALK / STREET	SIGN AREA = 2 SF
5	GARDEN SIGN TYPE "G1"	RESTAURANT TITLE	INDIRECTLY ILLUMINATED	DRIVEWAY / ENTRY	SIGN AREA = 6 SF
6	GROUND SIGN TYPE "E1"	RESTAURANT TITLE, PARKING, DELIVERIES	INDIRECTLY ILLUMINATED	UPPER DRIVEWAY	SIGN AREA = 8 SF
7	GROUND SIGN TYPE "E1"	(WEST FACE) PARKING, SERVICE - (EAST FACE) EXIT	INDIRECTLY ILLUMINATED	UPPER DRIVEWAY / PARKING	SIGN AREA = 8 SF
8	GROUND SIGN TYPE "E3"	RESERVED PARKING - PLACARD OR SPECIAL LICENSE PLATES REQUIRED MAXIMUM FINE \$500	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
9	GROUND SIGN TYPE "E2"	RESERVED PARKING - PLACARD OR SPECIAL LICENSE PLATES REQUIRED MAXIMUM FINE \$500 - VAN ACCESSIBLE	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
10	GROUND SIGN TYPE "E3"	NO PARKING - ACCESSIBLE AISLE	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
11	GROUND SIGN TYPE "E2"	RESERVED PARKING - PLACARD OR SPECIAL LICENSE PLATES REQUIRED MAXIMUM FINE \$500	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
12	GROUND SIGN TYPE "E1"	RESTAURANT TITLE, PASSENGER DROP-OFF, DELIVERIES	INDIRECTLY ILLUMINATED	UPPER DRIVEWAY	SIGN AREA = 8 SF
13	GROUND SIGN TYPE "F1"	NO PARKING - FIRE LANE - TOW AWAY ZONE	INDIRECTLY ILLUMINATED	UPPER SERVICE LANE	SIGN AREA = 2 SF
14	WALL SIGN TYPE "F4"	RESTAURANT TITLE	INDIRECTLY ILLUMINATED	ENTRY PAVILION	SIGN AREA = 8 SF
15	WALL SIGN TYPE "F4"	DONOR NAME COMPETITION & DEMONSTRATION AUDITORIUM	INDIRECTLY ILLUMINATED	UPPER AUDITORIUM	SIGN AREA = 6 SF
16	WALL SIGN TYPE "F4"	RESTAURANT TITLE	INDIRECTLY ILLUMINATED	RESTAURANT ENTRY	SIGN AREA = 6 SF
17	GROUND SIGN TYPE "E2"	NO PARKING - FIRE LANE - TOW AWAY ZONE	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
18	GROUND SIGN TYPE "E3"	RESERVED PARKING - PLACARD OR SPECIAL LICENSE PLATES REQUIRED MAXIMUM FINE \$500	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
19	GROUND SIGN TYPE "E3"	RESERVED PARKING - PLACARD OR SPECIAL LICENSE PLATES REQUIRED MAXIMUM FINE \$500	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
20	GROUND SIGN TYPE "E1"	(WEST FACE) EXIT - (EAST FACE) PARKING	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 8 SF
21	GROUND SIGN TYPE "E3"	RESERVED PARKING - PLACARD OR SPECIAL LICENSE PLATES REQUIRED MAXIMUM FINE \$500	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
22	GROUND SIGN TYPE "E2"	RESERVED PARKING - PLACARD OR SPECIAL LICENSE PLATES REQUIRED MAXIMUM FINE \$500 - VAN ACCESSIBLE	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
23	GARDEN SIGN TYPE "G1"	UNIVERSITY OF HAWAII CULINARY INSTITUTE OF THE PACIFIC	INDIRECTLY ILLUMINATED	LOWER DROP-OFF	SIGN AREA = 6 SF
24	GROUND SIGN TYPE "E1"	(WEST FACE) PARKING - (EAST FACE) EXIT	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 8 SF
25	WALL SIGN TYPE "F1"	NO PARKING - FIRE LANE - TOW AWAY ZONE	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
26	WALL SIGN TYPE "F4"	DONOR NAME ADVANCED MULTI-FUNCTION LAB	INDIRECTLY ILLUMINATED	LAB WALKWAY	SIGN AREA = 8 SF
27	WALL SIGN TYPE "F4"	DONOR NAME ADVANCED ASIAN LAB	INDIRECTLY ILLUMINATED	LAB WALKWAY	SIGN AREA = 8 SF
28	WALL SIGN TYPE "F4"	DONOR NAME ADVANCED BAKING LAB	INDIRECTLY ILLUMINATED	LAB WALKWAY	SIGN AREA = 8 SF
29	WALL SIGN TYPE "F4"	DONOR NAME PATISSERIE / CONFISERIE LAB	INDIRECTLY ILLUMINATED	LAB WALKWAY	SIGN AREA = 8 SF
30	WALL SIGN TYPE "F4"	DONOR NAME ADMINISTRATION BUILDING	INDIRECTLY ILLUMINATED	ADMINISTRATION	SIGN AREA = 8 SF
31	WALL SIGN TYPE "F2"	DONOR INFORMATION	INDIRECTLY ILLUMINATED	LOWER AUDITORIUM	SIGN AREA = 6 SF
32	WALL SIGN TYPE "F4"	DONOR NAME COMPETITION & DEMONSTRATION AUDITORIUM	INDIRECTLY ILLUMINATED	LOWER AUDITORIUM	SIGN AREA = 6 SF
33	WALL SIGN TYPE "F2"	DONOR INFORMATION	INDIRECTLY ILLUMINATED	LOWER AUDITORIUM	SIGN AREA = 6 SF
34	WALL SIGN TYPE "F4"	DONOR NAME CLASSROOM	INDIRECTLY ILLUMINATED	CLASSROOMS	SIGN AREA = 8 SF
35	GROUND SIGN TYPE "E1"	PASSENGER DROP-OFF, PARKING, RESTAURANT TITLE ACCESSIBLE BUILDING ENTRANCE	INDIRECTLY ILLUMINATED	LOWER DROP-OFF	SIGN AREA = 8 SF
36	GROUND SIGN TYPE "E3"	LOW-EMISSION FUEL-EFFICIENT VEHICLE PREFERRED PARKING	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
37	GROUND SIGN TYPE "E3"	LOW-EMISSION FUEL-EFFICIENT VEHICLE PREFERRED PARKING	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
38	GROUND SIGN TYPE "E3"	LOW-EMISSION FUEL-EFFICIENT VEHICLE PREFERRED PARKING	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
39	GROUND SIGN TYPE "E3"	LOW-EMISSION FUEL-EFFICIENT VEHICLE PREFERRED PARKING	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
40	GROUND SIGN TYPE "E3"	LOW-EMISSION FUEL-EFFICIENT VEHICLE PREFERRED PARKING	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF
41	GROUND SIGN TYPE "E3"	LOW-EMISSION FUEL-EFFICIENT VEHICLE PREFERRED PARKING	INDIRECTLY ILLUMINATED	DRIVEWAY / PARKING	SIGN AREA = 2 SF

Signage Master Plan Schedule

**Culinary Institute of the Pacific**  
**Kapi'olani Community College**

University of Hawaii

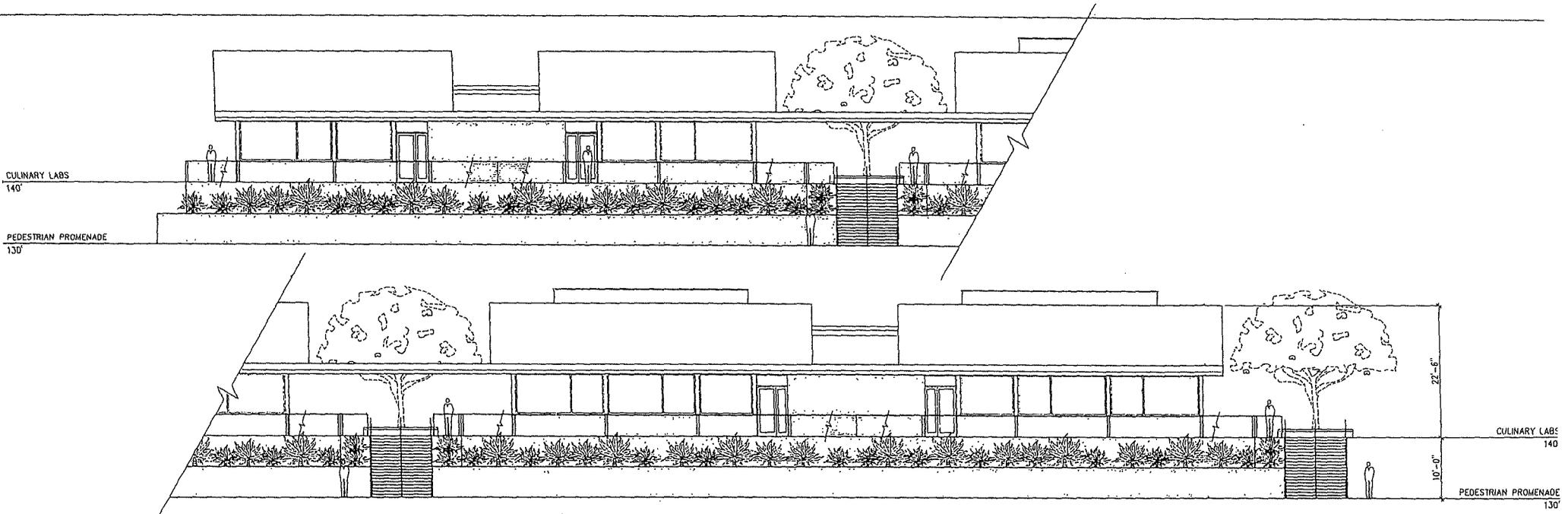
ISLAND OF O'AHU



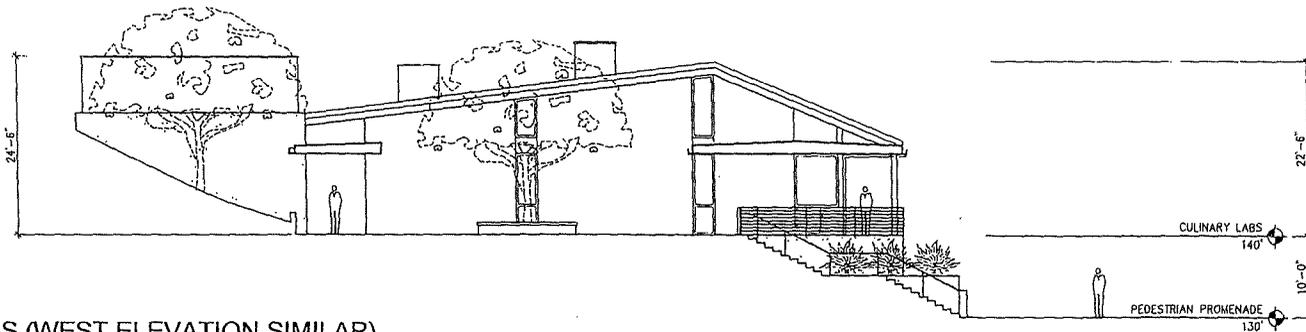
PBR HAWAII  
 & ASSOCIATES, INC.  
 September 2009

## **ATTACHMENT 6**

## **ATTACHMENT 7**



NORTH ELEVATION - LABS



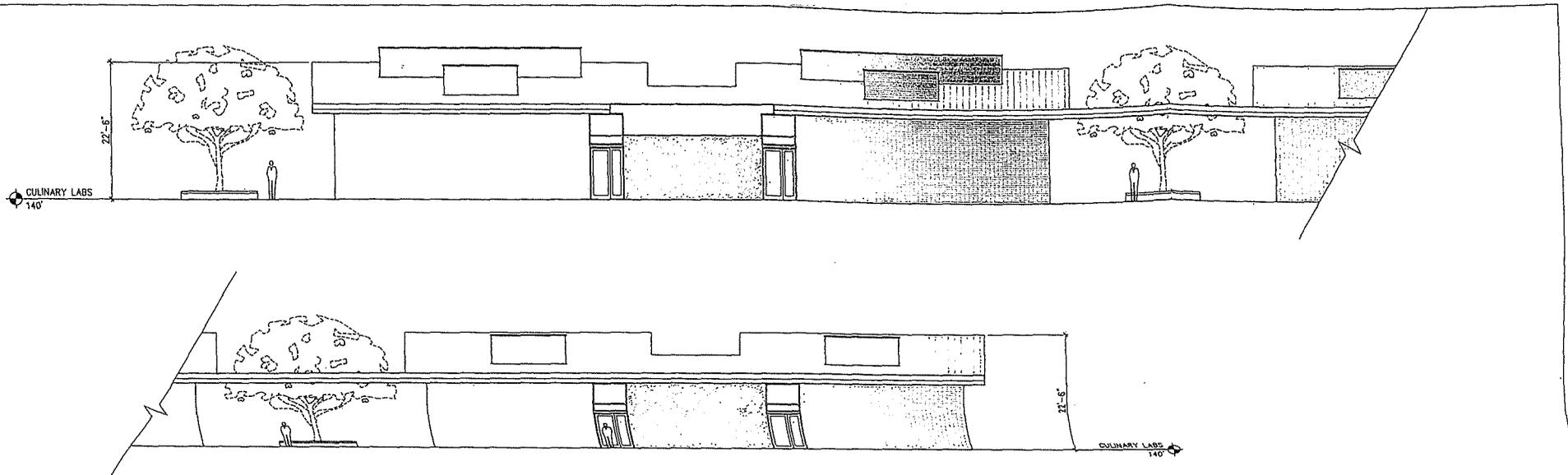
EAST ELEVATION - LABS (WEST ELEVATION SIMILAR)

Elevation 1: Labs

Culinary Institute of the Pacific  
Kapi'olani Community College  
University of Hawai'i

ISLAND OF O'AHU





SOUTH ELEVATION - LABS



Elevation 2: Labs

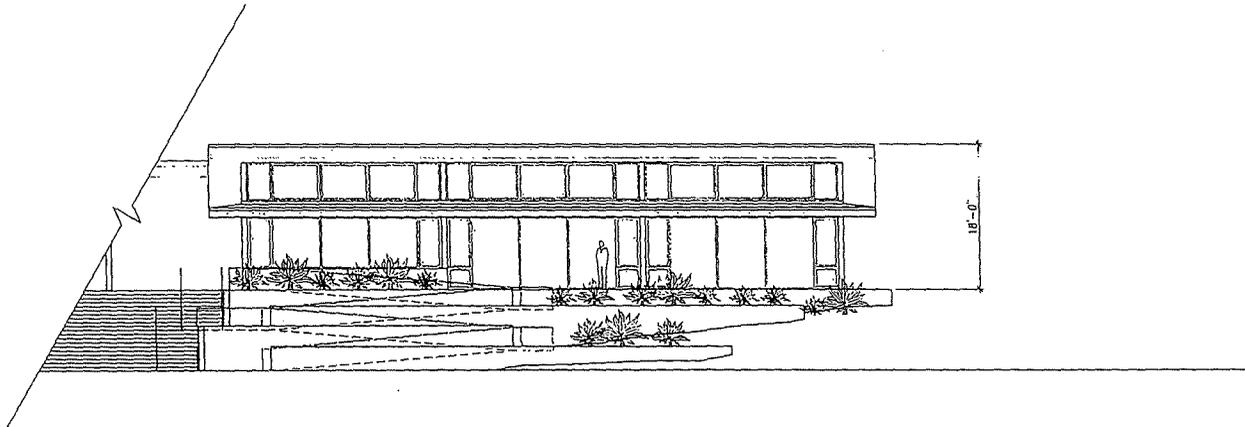
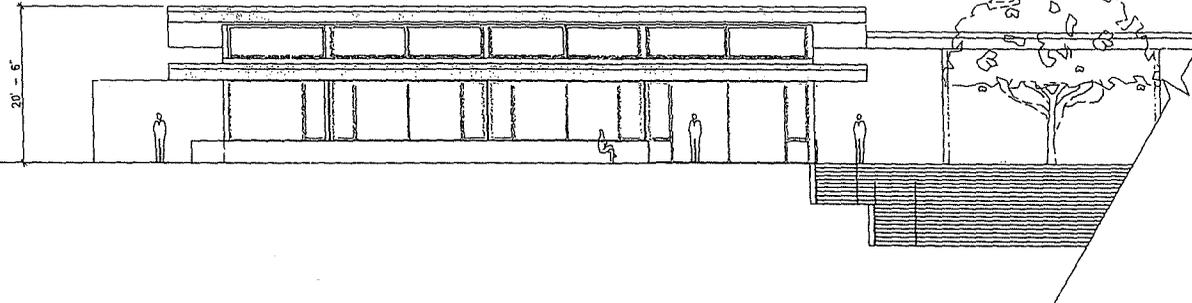
Culinary Institute of the Pacific  
Kapi'olani Community College  
University of Hawaii



ADMINISTRATION, CLASSROOMS,  
LOWER AUDITORIUM ENTRANCE  
142'

UPPER PEDESTRIAN PROMENADE  
137'

LOWER PEDESTRIAN PROMENADE  
132'



ADMINISTRATION, CLASSROOMS,  
LOWER AUDITORIUM ENTRANCE  
142'

UPPER PEDESTRIAN PROMENADE  
137'

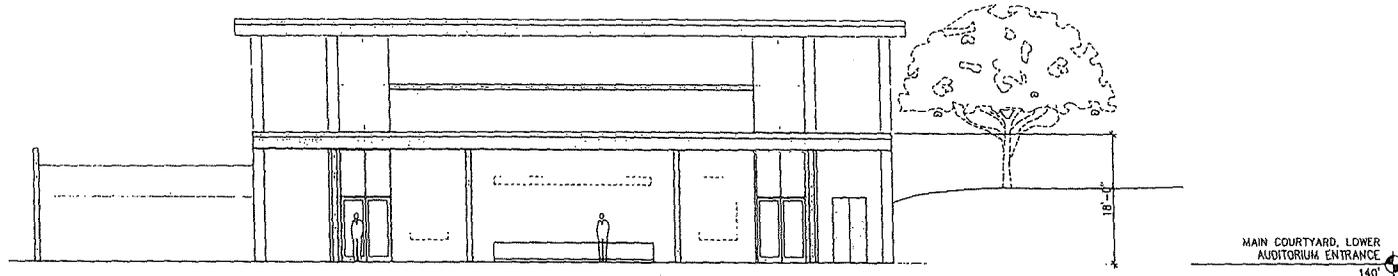
LOWER PEDESTRIAN PROMENADE  
132'

NORTH ELEVATION - ADMINISTRATION, AUDITORIUM + CLASSROOMS

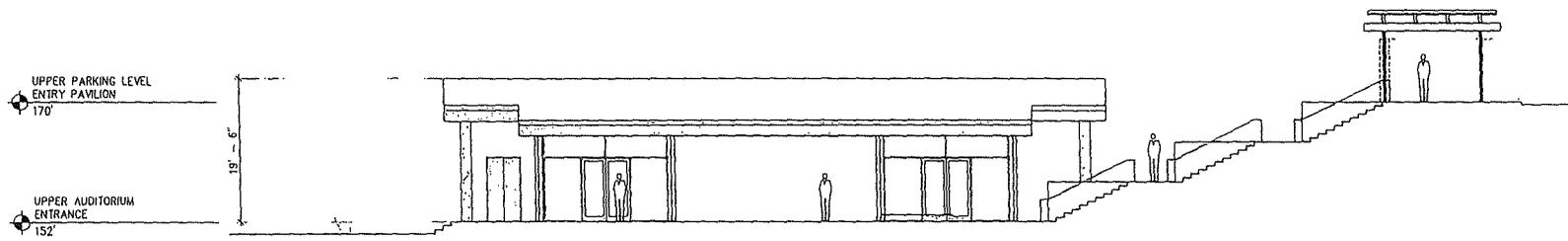


Elevation 3: Administration, Auditorium &  
Classrooms  
**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
University of Hawai'i ISLAND OF O'AHU

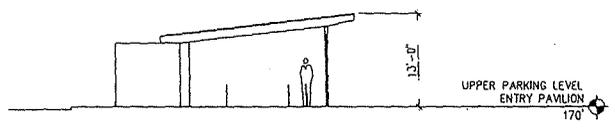




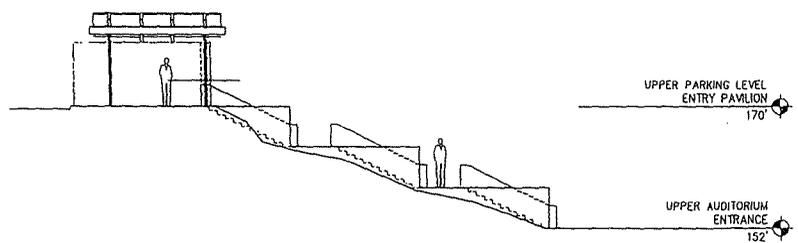
NORTH ELEVATION - AUDITORIUM



SOUTH ELEVATION - AUDITORIUM



EAST ELEVATION - ENTRY PAVILION



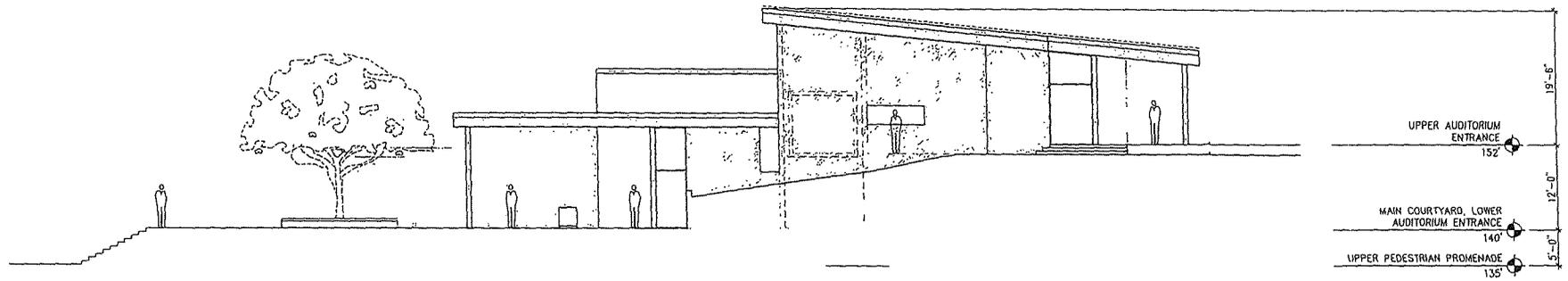
NORTH ELEVATION - ENTRY PAVILION



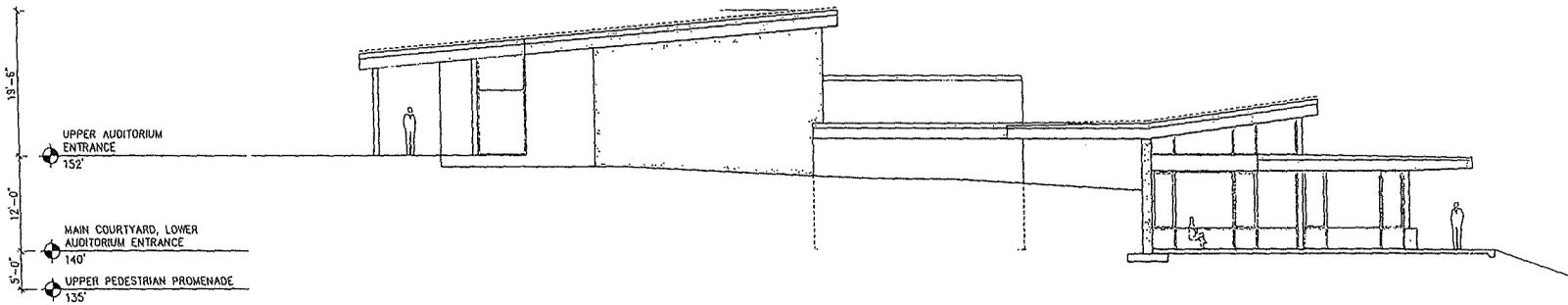
Elevation 4: Auditorium & Entry Pavilion

Culinary Institute of the Pacific  
 Kapi'olani Community College  
 University of Hawai'i ISLAND OF O'AHU





WEST ELEVATION - AUDITORIUM

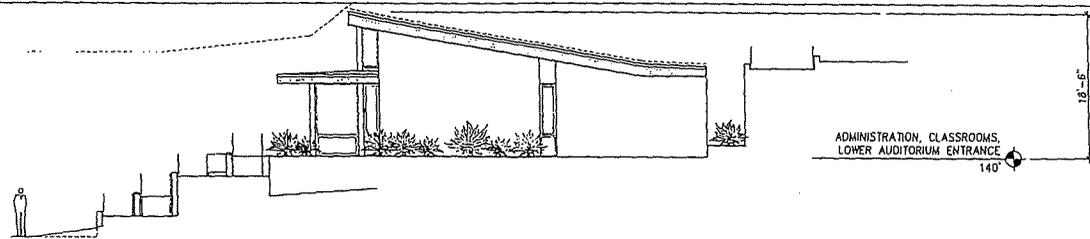


EAST ELEVATION - AUDITORIUM

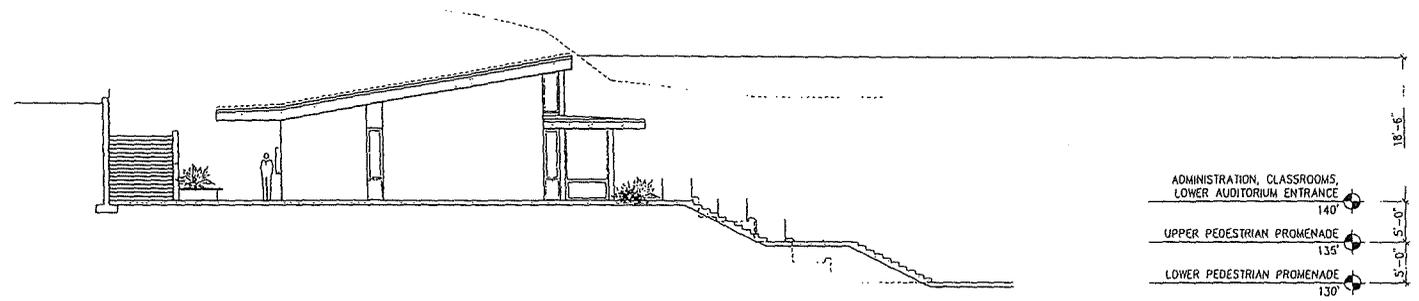


Elevation 5: Auditorium  
**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
 University of Hawaii'1 ISLAND OF O'AHU

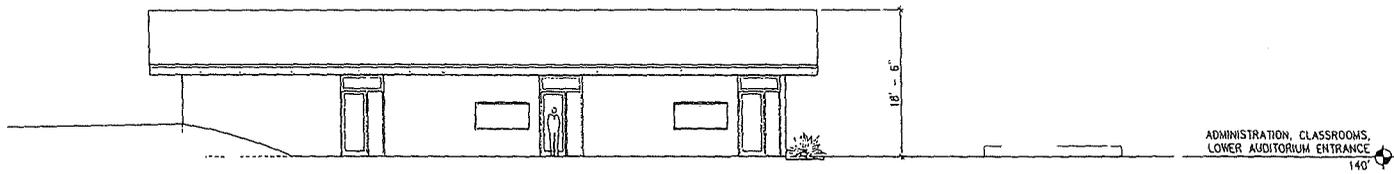




WEST ELEVATION - CLASSROOMS



EAST ELEVATION - CLASSROOMS



SOUTH ELEVATION - CLASSROOMS

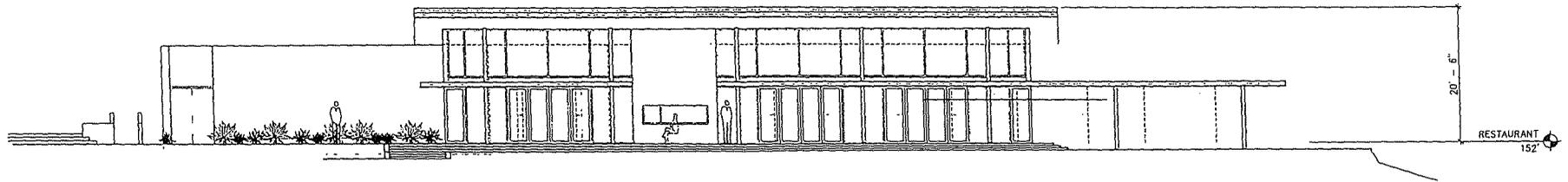


Elevation 6: Classrooms

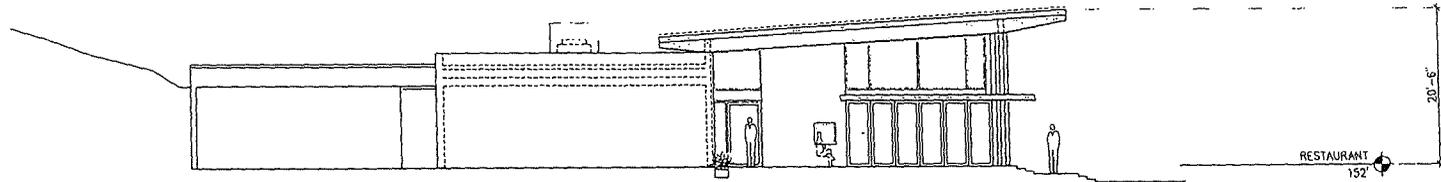
Culinary Institute of the Pacific  
 Kapi'olani Community College  
 University of Hawaii

ISLAND OF O'AHU

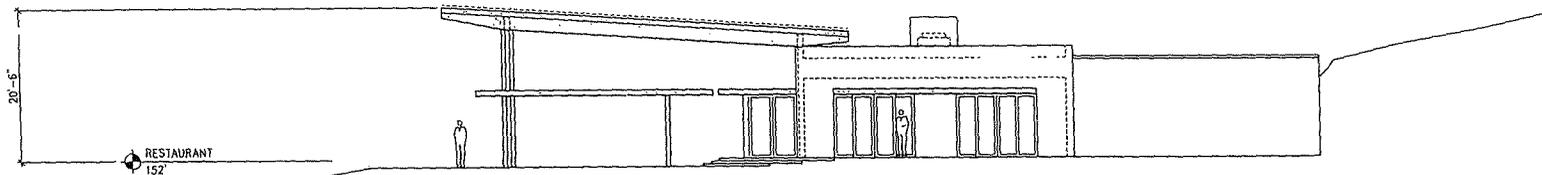




NORTH ELEVATION - TEACHING RESTAURANT



EAST ELEVATION - TEACHING RESTAURANT

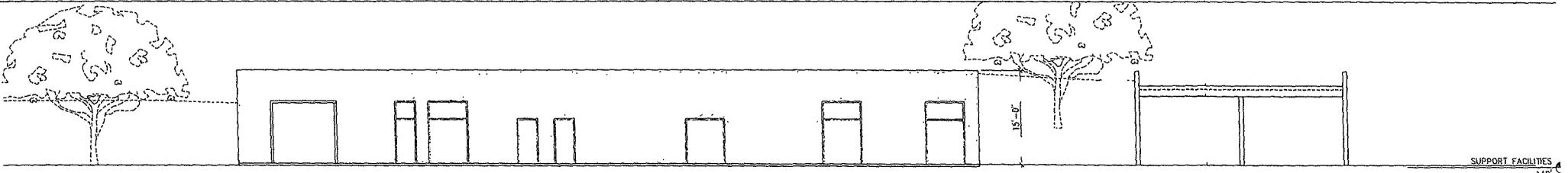


WEST ELEVATION - TEACHING RESTAURANT



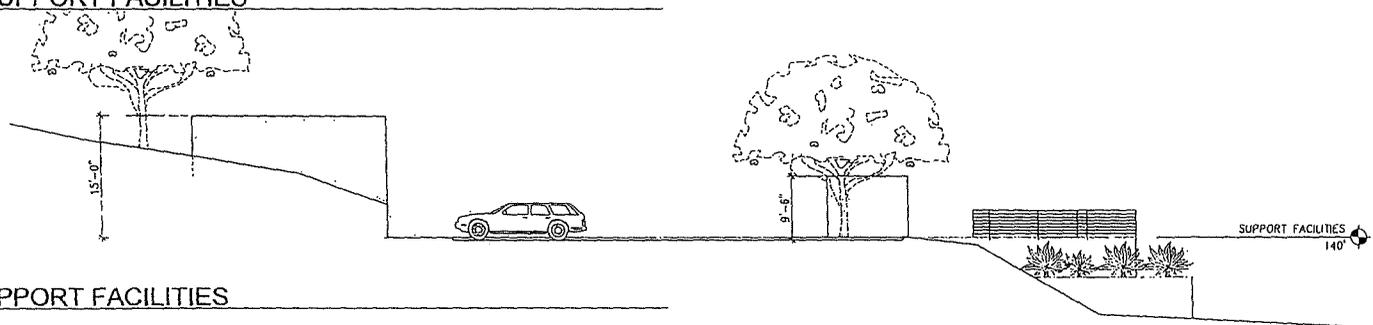
Elevation 7: Teaching Restaurant  
**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
 University of Hawaii! ISLAND OF O'AHU





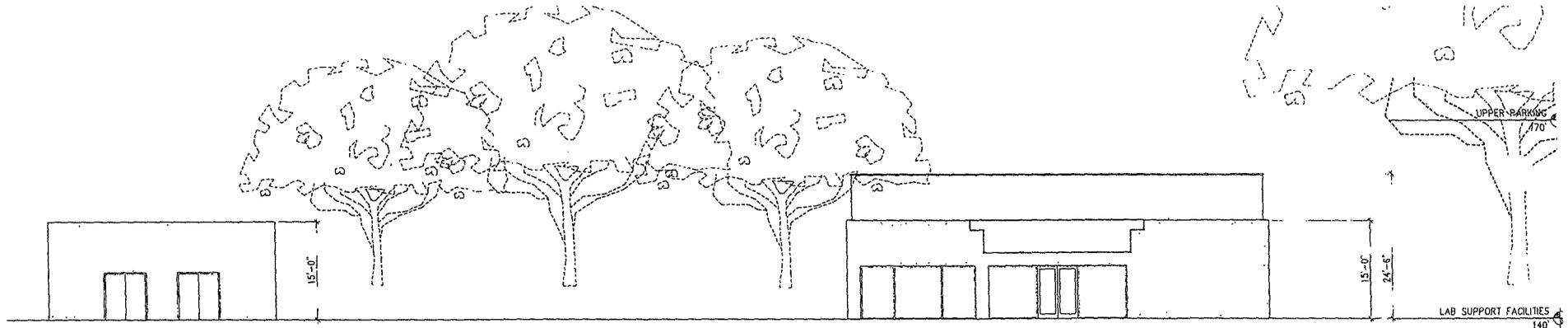
NORTH ELEVATION - SUPPORT FACILITIES

SUPPORT FACILITIES  
140'



EAST ELEVATION - SUPPORT FACILITIES

SUPPORT FACILITIES  
140'



NORTH ELEVATION - LAB SUPPORT FACILITIES

LAB SUPPORT FACILITIES  
140'

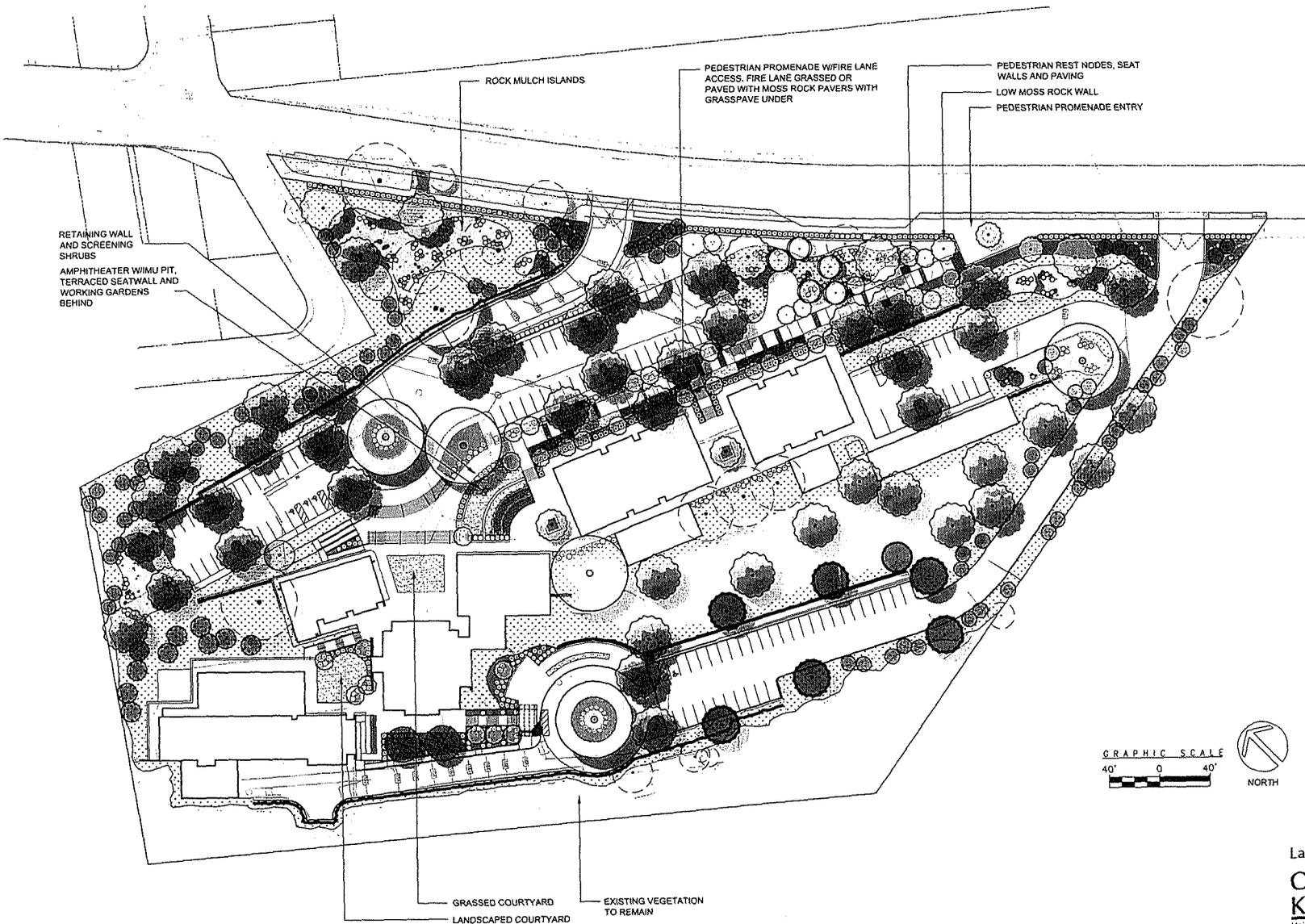


Elevation 8: Support Facilities  
**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
 University of Hawai'i ISLAND OF O'AHU

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 Note: This graphic has been prepared for general planning purposes only.  
 \\Cannon Club\Photoshop\Site DWG

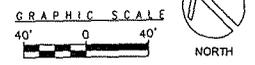


## **ATTACHMENT 8**



**PLANT PALETTE**

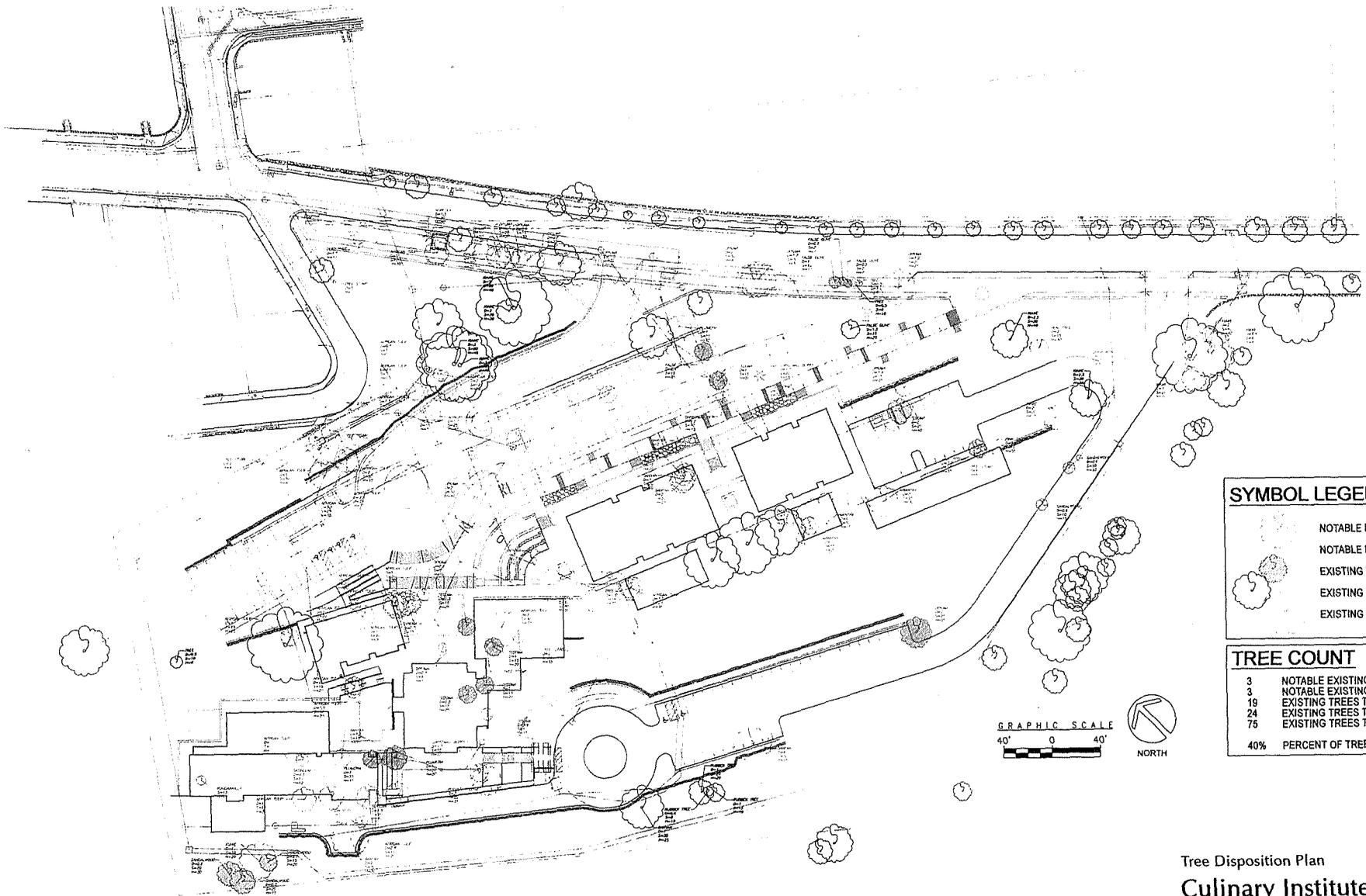
- LARGE TREE, I.E. MONKEY POD (F.S. TYP.)
- RELOCATED SANDALWOOD
- RELOCATED SOAPBERRY
- RELOCATED OPIUMA
- RELOCATED PINK TECOMA
- RELOCATED PLUMERIA
- RELOCATED TECOMA
- RELOCATED FALSE OLIVE
- STREET TREE, I.E. TRUE KOU, (25 GAL., 2" CAL., TYP.)
- MEDIUM TREES, I.E. KIAWE, TRUE KOU, MILO, HAU, PLUMERIA, KUKUI (25 GAL., 2" CAL., TYP.)
- MEDIUM TREE, I.E. ULU (25 GAL., 2" CAL., TYP.)
- MEDIUM TREE, I.E. HALA (25 GAL., 2" CAL., TYP.)
- SMALL TREES, I.E. SANDALWOOD, NAIQ, KOAIA, HOAWA, ALAHEE
- ACCENT SHRUBS, I.E. NANU, A'ALI'I, HAPUU, KOKIO KEOKEO, KOKIO ULA, WAUKE, KALO VARIETIES, TI VARIETIES, APE
- SCREENING SHRUBS, I.E. KOKIO KEOKEO, KOKIO ULA, NAUPAKA, NAIQ, A'ALI'I, 42" HT. MIN.
- MOSS ROCK OUTCROPS
- GROUNDCOVERS, I.E. ILIMA PAPA, NAIQ PAPA, AKIA, POHINAHINA, PALAPALAI, UALA, LAUAE, ULEI, NON-NATIVE ORNAMENTALS
- NATIVE HAWAIIAN GRASSES, I.E. PILI, MAU'U AKIAKI, AKIAKI
- ROCK MULCH
- LAWN GRASS, I.E. ZOYSIA SPP.
- NATURAL SOIL PAVEMENT AT WORKING GARDENS
- WORKING GARDENS



Landscape Master Plan  
**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
 University of Hawai'i ISLAND OF O'AHU



Source: Ferraro Choi and Associates, Ltd.  
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**SYMBOL LEGEND**

-  NOTABLE EXISTING TREES TO BE RELOCATED
-  NOTABLE EXISTING TREES TO REMAIN
-  EXISTING TREES TO BE RELOCATED
-  EXISTING TREES TO REMAIN
-  EXISTING TREES TO BE REMOVED

**TREE COUNT**

3	NOTABLE EXISTING TREES TO BE RELOCATED
3	NOTABLE EXISTING TREES TO REMAIN
19	EXISTING TREES TO BE RELOCATED
24	EXISTING TREES TO REMAIN
75	EXISTING TREES TO BE REMOVED
40%	PERCENT OF TREES TO REMAIN OR BE RELOCATED

Tree Disposition Plan

**Culinary Institute of the Pacific**  
**Kapi'olani Community College**

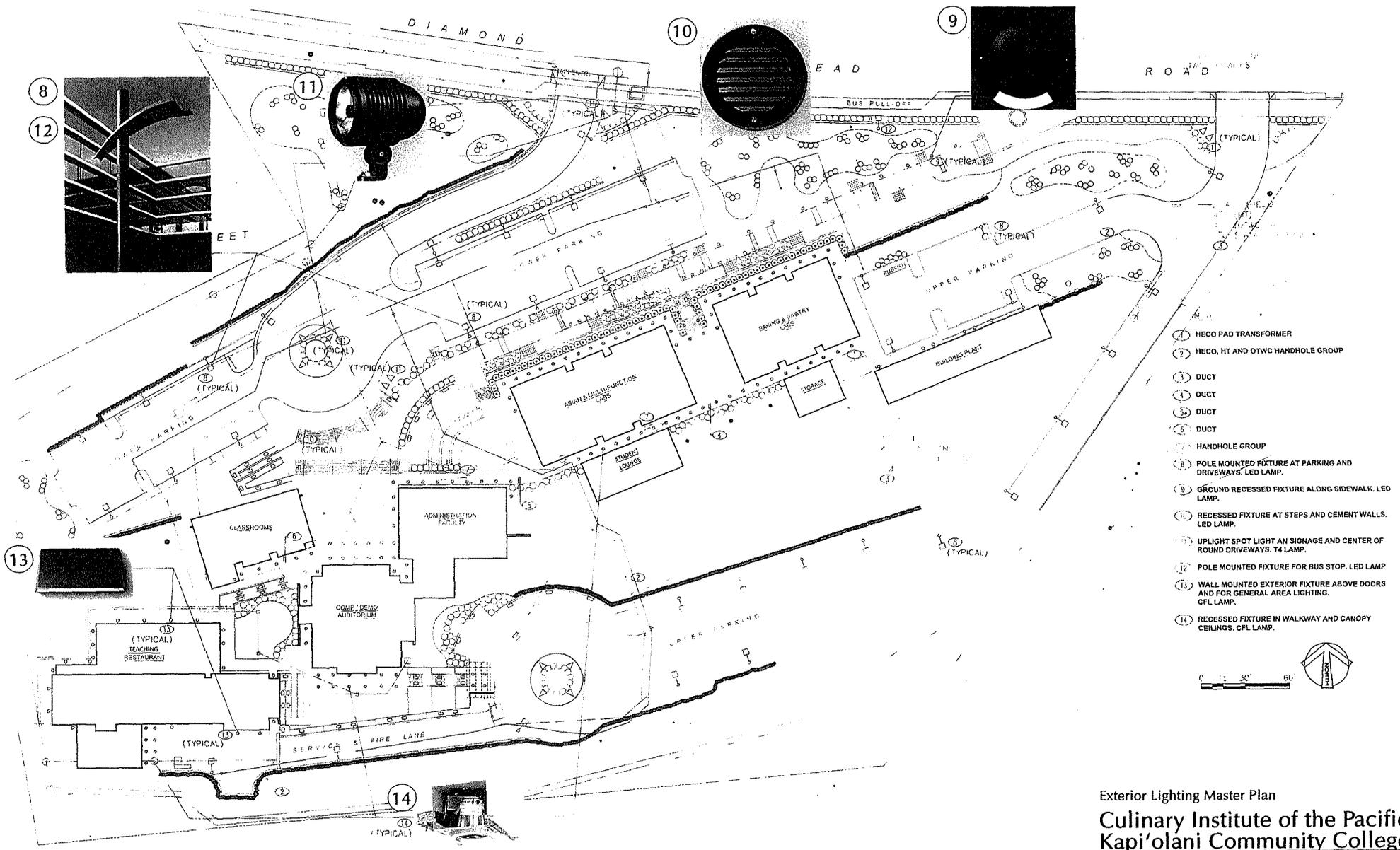
University of Hawai'i

ISLAND OF O'AHU



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## **ATTACHMENT 9**



- 1 HECO PAD TRANSFORMER
- 2 HECO, HT AND OTWC HANDHOLE GROUP
- 3 DUCT
- 4 DUCT
- 5 DUCT
- 6 DUCT
- 7 HANDHOLE GROUP
- 8 POLE MOUNTED FIXTURE AT PARKING AND DRIVEWAYS. LED LAMP.
- 9 GROUND RECESSED FIXTURE ALONG SIDEWALK. LED LAMP.
- 10 RECESSED SPOT LIGHT AT SIGNAGE AND CENTER OF ROUND DRIVEWAYS. T4 LAMP.
- 11 POLE MOUNTED FIXTURE FOR BUS STOP. LED LAMP
- 12 WALL MOUNTED EXTERIOR FIXTURE ABOVE DOORS AND FOR GENERAL AREA LIGHTING. CFL LAMP.
- 13 RECESSED FIXTURE IN WALKWAY AND CANOPY CEILINGS. CFL LAMP.

Exterior Lighting Master Plan  
**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
 University of Hawaii ISLAND OF O'AHU



Source: Ferraro Choi and Associates, Ltd.  
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RESOLUTION

APPROVING AN APPLICATION FOR A PLAN REVIEW USE PERMIT FOR  
KAPIOLANI COMMUNITY COLLEGE, CULINARY INSTITUTE OF THE PACIFIC.

WHEREAS, the Department of Planning and Permitting (DPP) on May 26, 2010, accepted the application from the Kapiolani Community College (KCC), University of Hawaii, herein referred to as the Applicant, for a Major Modification to Plan Review Use Permit (PRU) No. 87/PRU-3, for the development of a new culinary institute for the KCC on the former Fort Ruger Cannon Club site, which is on land zoned F-1 Military and Federal Preservation and P-2 General Preservation Districts, located at 4500 Diamond Head Road, Diamond Head and identified by Tax Map Key 3-1-42: 11, Reference Number 87/PRU-3, attached as Exhibit A; and

WHEREAS, the City Council held a public hearing on \_\_\_\_\_, to consider said application for a Plan Review Use Permit; and

WHEREAS, on \_\_\_\_\_, the City Council, having duly considered all of the evidence and reports offered at said public hearing, recommended approval of the subject application for a Plan Review Use Permit with certain conditions enumerated below; now therefore,

BE IT RESOLVED by the Council of the City and County of Honolulu that a Plan Review Use Permit be issued to the Applicant under the following conditions:

1. This PRU Permit pertains to the land area described on the map attached hereto as Exhibit A.
2. Development of the site shall be in general conformance with Exhibit "B," attached hereto (labeled "KCC – CIP Site Plan"), and the plans and drawings on file with the DPP, and as described in the Director's Report. The Director of the DPP may approve minor or non-substantive deviations. Major modifications, as determined by the Director of the DPP, shall require a new PRU Permit.
3. The Applicant shall comply with all conditions of the Special Management Area (SMA) Use Permit (No. 2010/SMA-18, Resolution No. 10-144) granted for the proposal.

DPP10PRU4.R10



## RESOLUTION

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4. The Applicant shall submit all related construction plans and building permit plans to the Honolulu Fire Department (HFD) for its review and approval.
5. The Applicant shall prepare and submit to the DPP Traffic Review Branch (TRB), for its review and approval:
  - a. A time line or phasing plan of the anticipated dates to obtain major building permits for the commencement of construction and occupancy of buildings for the planned improvements to the CIP Campus, prior to applying for any permits. This time line should specify when the Construction Management Plan (CMP) and the Transportation Management Plan (TMP) will be submitted for review and approval.
  - b. The CMP should be prepared and submitted prior to the issuance building permits and shall identify the type, frequency and routing of heavy trucks and construction-related vehicles. Every effort shall be made to minimize impacts from these vehicles and related construction activities. The CMP should include provisions to limit vehicular activity to periods outside of the peak periods of traffic, utilizing alternate routes for heavy trucks, staging locations for construction-related workers and vehicles and other mitigation measures related to traffic. The Applicant shall document the condition of roadways prior to the start of construction activities and provide remedial measures, as necessary, such as restriping, road resurfacing and/or reconstruction if the condition of the roadways has deteriorated as a result of the construction activities.
  - c. The TIAR should be expanded to include a traffic signal warrant analysis at unsignalized intersections and a left turn analysis in the vicinity of this project, prior to applying for any permits. Traffic signals should be installed by the applicant, if warranted. There is a 17-foot road widening planned along Diamond Head Road. The pavement should be widened to provide a left turn into the driveways and a separate acceleration lane in the street to accommodate left turns out of the driveways. The length of the left turn lane should account for storage and deceleration. The left turn lands should be implemented prior to the occupancy of the facilities. If implementation of the left turn lanes is not feasible prior to occupancy, the applicant shall consult with the TRB regarding acceptable alternative physical improvements to



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## RESOLUTION

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prevent/reduce left turns onto and from Diamond Head Road, such as a raised curb traffic island at the driveway to allow right-turn only movement, prior to building permit approval. The TIAR should also be updated three years after the completion of the project to validate the projected trip generation rates and traffic assignment volumes at each driveway, as contained in the initial report dated February 2008. The update should identify whether additional traffic mitigation measures are necessary to support this development. The cost to implement the proposed mitigation measures shall be borne by the Applicant.

- d. A TMP should be prepared and include traffic demand management (TDM) strategies in an effort to minimize the amount of vehicular trips being generated by the existing facilities and uses for daily activities as well as for large events, if appropriate, and any development. The TDM strategies could include carpooling and ride sharing programs, transit incentives and other similar TDM measures. An enhanced pedestrian/bicycle pathway should be constructed along Diamond Head Road between the main campus and the new facility to encourage this type of mode of travel. The Applicant should coordinate with the Department of Land and Natural Resources (DLNR) States Parks Divisions regarding the timing and implementation of the proposed Linear Park's multi-purpose path along the south side of Diamond Head. Improvements to the pathway connecting the KCC Main Campus and the CIP Campus to encourage walking and biking between the two campuses should be in place prior to the occupancy of the CIP facilities.
  - e. Vehicular access points should be constructed as standard City dropped driveways. Adequate vehicular sight distance should be provided and maintained at all driveways to pedestrians and other vehicles. Driveway grades should not exceed 5 percent for a minimum distance of 25 feet from the future sidewalk.
- 6. The Applicant shall submit construction plans for all work within or affecting public streets, including traffic control plans during construction, to the DPP for review and approval prior to construction.
  - 7. The proposed gates shall be set back a minimum of 25 feet from the edge of the new sidewalk (the edge farthest from the center line of the street).



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## RESOLUTION

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8. The Applicant shall obtain a Street Usage Permit from the Department of Transportation Services (DTS) for construction work that may require the temporary closure of any City street, traffic lane, or sidewalk.
9. The Applicant shall address the following with the DTS Public Transit Division prior to the approval of the construction plans:
  - a. Compliance with the appropriate provisions of the Americans with Disabilities Act (ADA). On-site and internal traffic should be designed to facilitate the City's TheHandi-Van's 31-foot turning radius and 10.5-foot height clearance.
  - b. Feasibility of the proposed bus stop shown on the CIP Site Plan.
  - c. Pre-consultation notes shall include: "This project will affect bus routes, bus stops, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 848-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project at least two weeks prior to construction of the project."
10. Prior to the start of the project, all affected Neighborhood Boards and adjoining lot owners and businesses should be informed about the scope and duration of the project.
11. The applicant shall install minimum 6-foot high landscaped buffers and/or 6-foot high solid wall along the property line abutting the residences on Wauke Street.
12. All exterior lighting shall be shielded to prevent glare and light spillage on adjoining properties and/or public rights-of-way.
13. Approval of this PRU Permit does not constitute compliance with other governmental agencies' requirements, which are subject to separate review and approval. The Applicant shall be responsible to obtain all other governmental approvals or permits which may be required for the proposed projects.



RESOLUTION

- 14. As may be required by the Director of the DPP for the review of development permits, the Applicant shall submit reports updating the status of its compliance with applicable conditions.

BE IT FINALLY RESOLVED by the Council of the City and County of Honolulu that the Clerk be and is directed to transmit copies of this resolution to David K. Tanoue, Director of the Department of Planning and Permitting, 650 South King Street, 7th Floor, Honolulu, Hawaii 96813; Vincent Shigekuni, PBR Hawaii & Associates, 1001 Bishop Street, ASB Tower Suite 650, Honolulu, Hawaii 96813; and John Morton, University of Hawaii Capital Improvement Projects, Biomed B-102, 1960 East-West Road, Honolulu, Hawaii 96822.

INTRODUCED BY:

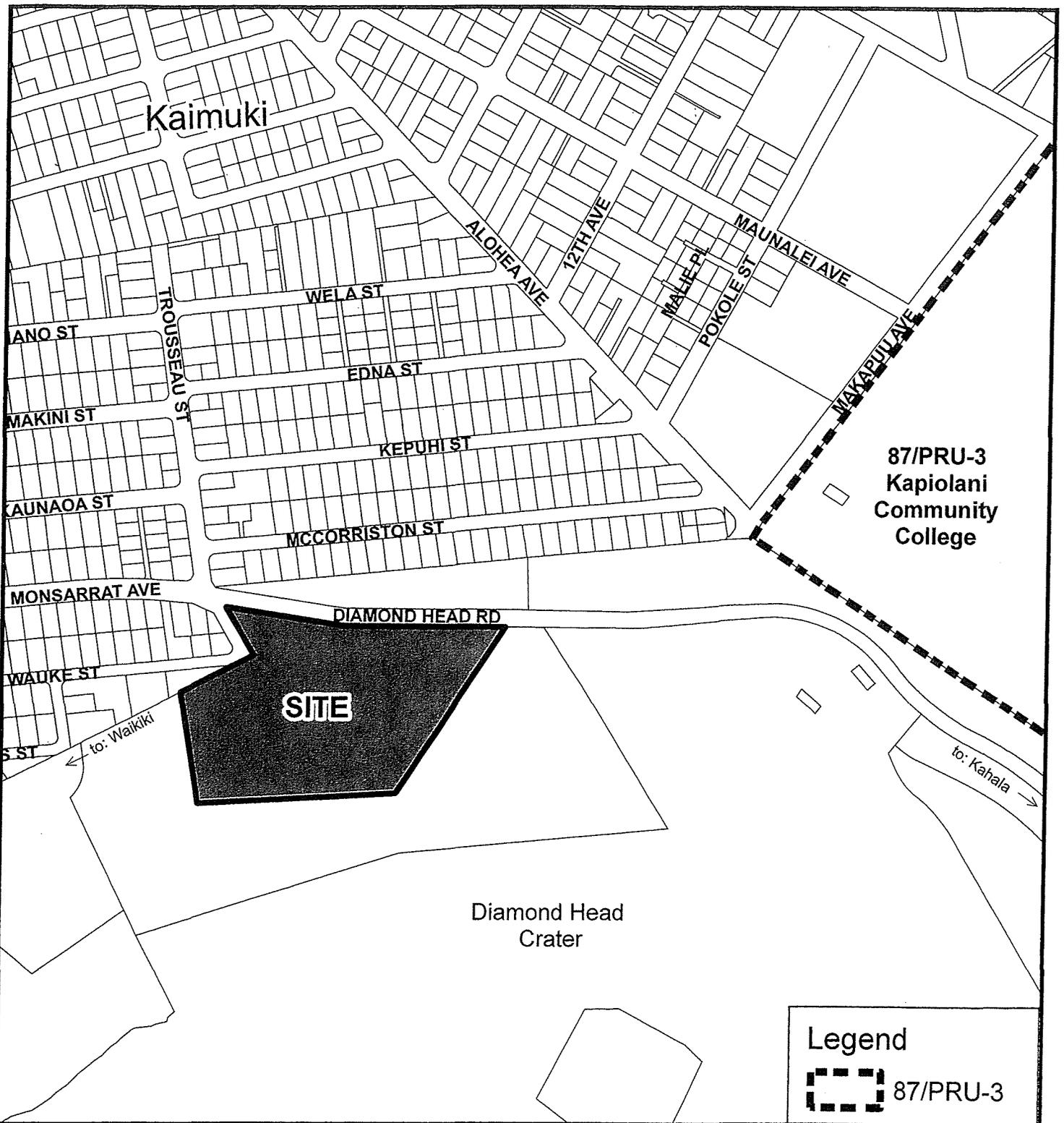
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DATE OF INTRODUCTION:

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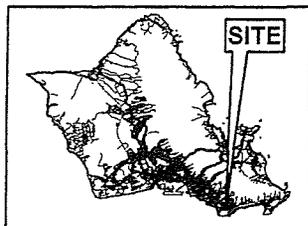
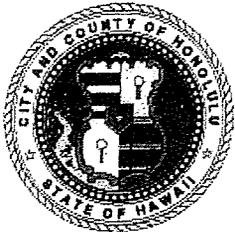
\_\_\_\_\_  
Honolulu, Hawaii

\_\_\_\_\_  
Councilmembers

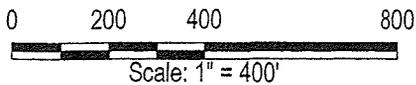


**Legend**

 87/PRU-3



VICINITY MAP

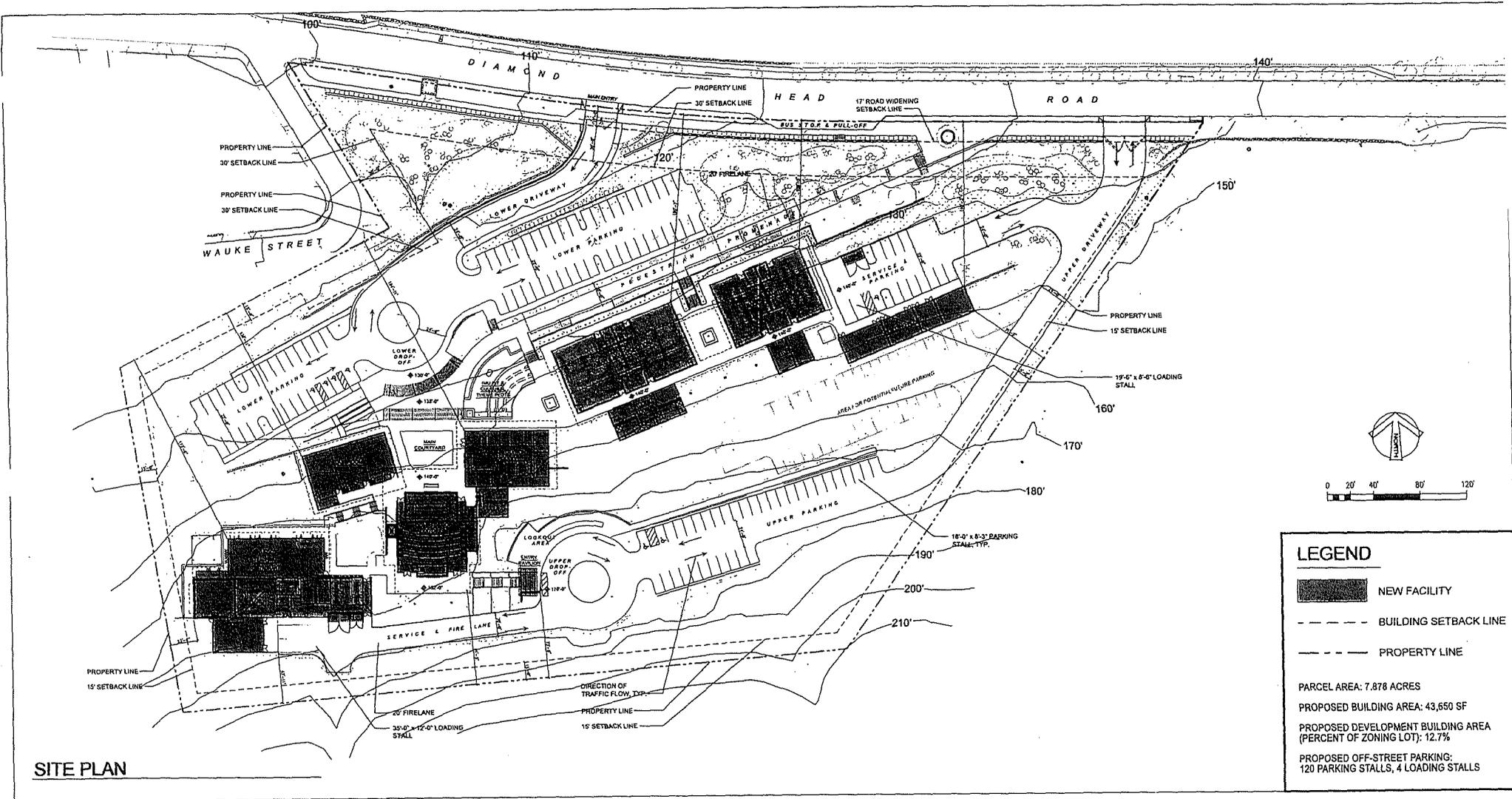


**LOCATION MAP**  
**Culinary Institute of the Pacific**

**TAX MAP KEY(S): 3-1-042:011**

**FOLDER NO.: 87/PRU-3**

**EXHIBIT A**



**SITE PLAN**

**LEGEND**

- NEW FACILITY
- BUILDING SETBACK LINE
- PROPERTY LINE

PARCEL AREA: 7.878 ACRES  
 PROPOSED BUILDING AREA: 43,650 SF  
 PROPOSED DEVELOPMENT BUILDING AREA (PERCENT OF ZONING LOT): 12.7%  
 PROPOSED OFF-STREET PARKING: 120 PARKING STALLS, 4 LOADING STALLS

**LEGEND**

- Adjacent Land Uses
- Public Facility
  - Diamond Head State Monument
  - Residential

Source: Ferrato Choi and Associates, Ltd.  
 Disclaimer: This graphic has been prepared for general planning purposes only.  
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Figure 5  
 KCC CIP Site Plan

**Culinary Institute of the Pacific**  
**Kapi'olani Community College**  
 University of Hawaii's ISLAND OF O'AHU

